

ORDINANCE NO. 18-41

AN ORDINANCE AMENDING VARIOUS SECTIONS OF CHAPTER 14 OF THE CITY OF ROGERS CODE OF ORDINANCES; ADOPTING THE UPTOWN ROGERS DEVELOPMENT CODE ("URDC"); PROVIDING FOR THE EMERGENCY CLAUSE; AND FOR OTHER PURPOSES.

WHEREAS, the City of Rogers, City Council finds it to be in the best interests of the City of Rogers to adopt an Uptown Rogers Development Code.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROGERS, ARKANSAS THAT:

Section 1: Chapter 14, Article VI, Division 2, Section 14-732 of the City of Rogers, Code of Ordinances is adopted, and to read as shown in the attached Exhibit "A";

Section 2: Chapter 14, Article V, Division 3, Section 14-604 of the City of Rogers, Code of Ordinances is amended to read as shown in the attached Exhibit "B";

Section 3: Chapter 14, Article VI, Division 2, Section 14-710 of the City of Rogers, Code of Ordinances is repealed, replaced, and to read as shown in the attached Exhibit "C";

Section 4: Chapter 14, Article VI, Division 2, Section 14-715 of the City of Rogers, Code of Ordinances is amended to change the term "DRDC Zoning Map" to "Downtown Regional Center Zoning Plan", and Municode Corporation is hereby instructed to replace the term "DRDC Zoning Map" with the term "Downtown Regional Center Zoning Plan" where it appears in Section 14-715;

Section 5: Chapter 14, Article VI, Division 2, Section 14-715, Subdivision(1.1)(b) of the City of Rogers, Code of Ordinances is amended to read as shown in the attached Exhibit "D";

Section 6: The header of Chapter 14, Article VI, Division 2, Section 14-715, Subsection (2.0) which currently reads "2.0 Administration and Development Phasing" is amended to read "2.0 Administration";

Section 7: Chapter 14, Article VI, Division 2, Section 14-715, Subsections (2.2) and (2.3) are repealed, replaced, and to read as shown in the attached Exhibit "E";

Section 8: Chapter 14, Article VI, Division 2, Section 14-715, Subsection (4.2), Subdivision (a) is amended to repeal the diagram within said subdivision and is amended to read as shown in the attached Exhibit "F";

Section 9: Chapter 14, Article VI, Division 2, Section 14-715, Subsection (4.3), Subdivision (a) is amended to repeal the diagram within said subdivision, and is amended to read as shown in the attached Exhibit "G";

Section 10: Chapter 14, Article VI, Division 2, Section 14-715, Subsection (4.4), Subdivision (a) is amended to repeal the diagram within said subdivision, and is amended to read as shown in the attached Exhibit "H";

Section 11: Chapter 14, Article VI, Division 2, Section 14-715, Subsection (4.5), Subdivision (a) is amended to repeal the diagram within said subdivision, and is amended to read as shown in the attached Exhibit "I";

Section 12: Chapter 14, Article VI, Division 2, Section 14-715, Subsection (5.1) is amended to read as follows shown in the attached Exhibit "J";

Section 13: Chapter 14, Article VI, Division 2, Section 14-715, Attachment 1 is repealed;


Section 14 - Emergency Clause: The need to amend said City Code chapter is immediate in order to protect the public peace, health, safety, and welfare an emergency is hereby declared to exist and this Ordinance shall be in full force and effect from the date of passage and approval;

Section 15 - Severability Provision: If any part of this Ordinance is held invalid, the remainder of this Ordinance shall continue in effect as if such invalid portion never existed; and


Section 16 - Repeal of Conflicting Provisions: All ordinances, resolutions or orders of the City Council, or parts of the same, in conflict with this Ordinance are repealed to the extent of such conflict.


PASSED this 24th day of July, 2018.

APPROVED:


C. GREG MINES,
Mayor

Attest:


PEGGY DAVID, City Clerk



Requested By: John McCurdy, Director of the Department of Community Development

EXHIBIT "A"

Sec. 14-716. – Uptown Rogers Development Code (URDC).

1.0 Purpose and Intent

The purpose of the Uptown Rogers Development Code (URDC) is to shape greenfield development and infill within the Uptown Rogers area to encourage excellent urban design, walkability, efficient use of land, and commercial resilience to firmly establish Uptown Rogers as a regional urban center. The URDC accomplishes this by:

- a) Providing architectural flexibility that encourages innovative and inspiring design while preserving and enhancing the existing development character of established uptown commercial, residential, and mixed-use areas.
- b) Establishing a context-based approach to planning and development, based on transitions rather than buffers, that facilitates traditional form-based interfaces between high- and low-intensity areas to ensure compatibility of uses and scale, mixed-use where feasible, and pedestrian-oriented design.
- c) Creating appropriate zones to implement the vision for different areas of uptown – Uptown Core Mixed Use, Uptown Commercial Mixed Use, Uptown Entertainment, and Uptown Neighborhood Transition.
- d) Providing a clear and understandable regulatory environment through the establishment of clearly articulated use and development standards; clear review, approval, and appeals processes for all development; and maximize ability for staff approval for submissions that meet the requirements of this Section.

1.1 Uptown Regional Center Zoning Plan

Within any area subject to the approved area of the URDC, City Code Section 14-716 becomes mandatory. It shall establish the following zones for all properties within the URDC area:

- a) **Establishment of URDC Zones:** The URDC area is distinguished into different zones. Each zone is intended to respond to distinct urban aspects within Uptown Rogers and is based on the vision for the different zones within the URDC area. Each zone shall establish use and building form standards including standards for building height, mass, placement, functional design and parking. The Uptown Regional Center Zoning Plan classifies all lots within the URDC area into one of the following four zones:
 - i. **Uptown Core Mixed Use (U-COR)** – The purpose of the Uptown Core Mixed Use zone is to allow high-intensity, high-density urban mixed-use development characterized by pedestrian-priority streetscapes, inviting storefront, ground level retail and other commercial services, and upper floor office and residential uses. City blocks shall incorporate on-street parking, parking garages that are located so that they are internalized and do not dominate the development context, and public spaces that are connected by a walkable street network. Thereby, U-COR allows for all essential elements of live-work-play within walking distance, provides the most efficient use of land, and is designed to accommodate multi-modal transportation including car, pedestrian, bicycle, and public transit.
 - ii. **Uptown Commercial Mixed Use (U-COM)** – The purpose of the Uptown Commercial Mixed Use zone is to allow relatively dense, pedestrian-friendly, primarily commercial mixed-use development that retains many of the characteristics of the U-COR zone while allowing more flexibility with respect to building disposition, single-use form, off-street parking options, and increased setbacks. U-COM attains increased density over traditional, single-use (strip mall or office park) form through shared parking and

- maximum parking requirements, shared access, maximum setbacks, pedestrian connectivity between adjacent properties, the use of boulevards, and public spaces.
- iii. Uptown Entertainment (U-ENT) – The purpose of the Uptown Entertainment zone is to allow the development of large entertainment venues such as concert pavilions and sports facilities within the Uptown area and compatible ancillary uses for such venues. The intent is for these venues to retain pedestrian connectivity to the rest of the Uptown regional center, maximize the use of on-street and other off-site parking, provide for a variety of uses, and present a high level of architectural excellence that enhances the overall character of the URDC area.
 - iv. Uptown Neighborhood Transition (U-NBT) – The purpose of the Uptown Neighborhood Transition zone is to provide medium- to high-density residential infill between the other URDC zones and surrounding existing residential neighborhoods. U-NBT development is typically characterized by residential structures that are single-family, 2- to 3-stories, with very small or zero side setbacks, such as brownstones, townhomes, garden homes, or similar housing types that normally feature front on-street parking and rear- or side-entry garages.
- b) **Street Designations:** The streets within the URDC area shall be classified by their street type in coordination with the Master Street Plan and the context of the surrounding development. Street cross sections shall address vehicular lane widths, number of lanes, pedestrian accommodation, street tree requirements, on-street parking, and parkway and median standards. These standards are laid out in Subsection 6 (Street Design Standards). Streets within the URDC area shall complement the Complete Streets Plan for the City of Rogers.
- c) **Building Frontage Standards:** Building Frontage designations shall classify and regulate the required amount of building frontage required for a development based on the vision for development context. Building frontages are categorized into one of three types:
- i. Pedestrian-Priority Frontage has the highest quality standard for pedestrian-oriented building design. Focus is on wider sidewalks, ample clear space, appropriate street furniture, adequate lighting and limited vehicular conflict points within the streetscape area. Building will be required to address the pedestrian area and provide a higher quality of commercial design standards. Curb cuts shall be limited, allowing for their utilization where they support particular uses without dominating the pedestrian-priority context such as porte-cochere entrances for hotels.
 - ii. Pedestrian-Friendly Frontage has a middle quality standard for pedestrian-oriented building design. Focus is on adequate sidewalks, ample clear space, continuous walkability, adequate lighting and limited vehicular conflict points within the streetscape area. Pedestrian-Friendly Frontages lead to Pedestrian-Priority Frontages and expand connections to these areas into adjacent neighborhoods.
 - iii. General Frontage has a basic quality standard for pedestrian-oriented building design. Any frontage not labeled as a Pedestrian-Priority or Pedestrian-Friendly is considered a General Frontage. Focus is on required pedestrian access, adequate clear space, select locations for street furniture, adequate lighting, screening, and safe vehicular-pedestrian interactions within the streetscape area.
- d) **Public Open Space Designation:** Public Open Space within the URDC shall be designated according to the development standards for each zone. Detailed standards for Public Open Space or improvement to existing Public Open Space are included in Subsection 7 (Open Space Standards). These standards include general character, typical size, frontage requirements and typical uses within these public open spaces.

2.0 Administration

2.1 Applicability

- a) The uses and buildings on all properties within a URDC zoning district shall conform exclusively to this section. Where this section is silent, the other appropriate sections of the City Code shall apply.
- b) Table 2.1 (Applicability Matrix) shall determine which Subsections of the URDC might apply to any proposed development. Not all Subsections will apply to every circumstance, but review each Subsection to determine need to adhere to those Subsections as necessary and to understand all required conditions of the URDC.
- c) Terms used throughout this Chapter are defined in Subsection 9 (Definitions). For those terms not defined in this Section, definitions within the general City Code shall apply. In the event of conflict with definitions within the general City Code, the definitions of this Section shall take precedence.
- d) Where in conflict, numerical metrics shall take precedence over graphic metrics.

2.2 Development Regulations

- a) The development review process shall be required and administered subject to the requirements of Chapter 14, Article 3.
- b) Table 2-1 shows in what instances the following Subsections apply to development.

Table 2-1: Applicability Matrix

[illegible]

conditioned building area)												
Expansion of Parking Area		.	.		.	.	.	.	.	.
Single-Family Residential												
New Construction	.	.	.	.	.	.	.	.	.	.	.	.
Change of Use (without expansion of conditioned building area)	.				.							
Expansion of Existing Buildings (see Attachment 2)	.	.	.	.	.	.		.	.	.
Existing Building Remodel (without expansion of conditioned building area)	.					.						

• = required to meet the requirements of the Subsection

- c) Allowable Adjustments: The Director of Community Development or his or her designee may approve allowable adjustments within the limits and per the criteria listed in Table 2-2 (Allowable Adjustments Table). All allowable adjustments shall be considered "meeting the requirements of the URDC" in accordance with City and State legislative requirements. In no circumstance shall the Director of Community Development or his or her designee approve an allowable adjustment that results in:
- An increase in overall project intensity or density beyond what would otherwise be allowed or was otherwise approved through normal variance processes;
 - A change in permitted uses or mix of uses that would otherwise require rezoning action or an approved Conditional Use Permit;
 - A change in the required frontage designation; or
 - A change in any required element of the Uptown Regional Center Zoning Plan and the URDC beyond the thresholds established in Table 2-2 below.

Table 2-2: Allowable Adjustments Table

URDC Standard	Extent of Allowable Adjustment Permitted	Criteria for Adjustment
Uptown Regional Center Zoning Plan		
Area/Boundary of URDC Zones	No more than a 20% change (increase or decrease) in the	Lots being changed shall be a part of a larger development needing common zoning for the project.

	area of any URDC zone (aggregate).	
Building Form and Development Standards		
Build to Zones and Setbacks	No more than a 20% change in the maximum or minimum setback applicable or 5 feet whichever is greater.	<p>Changes to the Build to Zones and setbacks may only occur when they are caused by one or more of the following:</p> <ol style="list-style-type: none"> 1. Need to accommodate existing buildings and structures on the lot that meet the overall intent and vision for redevelopment in the URDC area; or 2. Need to accommodate other required modes of transportation (transit, bike, pedestrian), stormwater drainage, water quality, or low impact development (LID) elements on the site; or 3. Need to accommodate overhead or underground utilities and/or easements; or 4. Need to preserve existing trees on the property. This adjustment is not mandatory for tree preservation, but for the allowance for preservation; or 5. Need to provide public amenities along the sidewalk (outdoor dining/seating, larger sidewalk, or other similar public amenities).
Building Frontage	No more than a 25% reduction in the required building frontage along each subject lot with Pedestrian-Friendly or General Frontage designation.	<p>Any reduction in the required building frontage shall be to address one or more of the following to accommodate:</p> <ol style="list-style-type: none"> 1. Existing buildings and site elements; 2. Limited access to a side or rear parking area; or 3. Other required transit, bike and pedestrian, stormwater drainage, or water quality elements on the site.
Building Heights	Increase in height of building for providing a public amenity.	Height may be increased by one additional story if an additional 5% of site area is dedicated as Public Open Space on-site beyond the minimum requirement. The public open space shall meet the standards of the Public Open Space Types in Attachment 2 of this Section. Public Open Space may be privately owned and maintained.
Required Parking Spaces	Reduction in the number of required parking spaces.	<p>Reduction in the number of parking spaces shall be based on one or more of the following:</p> <ol style="list-style-type: none"> 1. A shared parking plan for parking within 1,000 feet of the subject property; or 2. A parking study for the uses proposed on the site; or 3. A combination of the above.
Uptown Entertainment (U-ENT) Specific Allowances		
Block length	Adjustment to desired block lengths by the development.	An adjustment of block lengths within the U-ENT zone will be permitted provided an approved pedestrian connectivity network is provided within the block.
Other		
Any other numerical standard in the	An adjustment up to 10% (increase or decrease).	An adjustment of a numerical standard is needed to accommodate existing conditions. The proposed development still meets the intent of the

Section		URDC Zone.
Phased Developments	Deferment of building frontage standards.	Phased developments may defer building frontage requirements as long as they meet the Build to Zone and parking setback requirements.

d) Modifications:

- i) The Rogers Board of Adjustments (BOA) shall first review projects that request a modification beyond the standards in the URDC authorized above in Table 2-2 (Allowable Adjustments Table).
- ii) The BOA shall review only the modification that exceeds the allowable adjustment within the URDC and shall rule only in the case that this modification meets the following criteria:
 1. The goals, intent and vision of the adopted Comprehensive Growth Map and URDC zoning districts;
 2. The extent to which the proposal fits the adjoining design context by providing appropriate building scale and use transitions;
 3. The extent to which the proposal provides public benefits such as usable public open space, livable streets, affordable housing, structures and/or shared parking, and linkages to transit;
 4. The extent to which the proposal does not hinder future opportunities for high intensity development; and
 5. Consideration of health and welfare of the general public.
- iii) If BOA denies the requested modification, applicant must perform a redesign of the plan in order to meet the standards or request other modifications through BOA.
- iv) If BOA approves the requested modification, application is passed to the Planning Commission (PC) for review of the remainder of the plan. During review of the plan, PC must review the plan for its merits with the consideration that the modification has been approved.
- v) Review Considerations for Planning Commission - In reviewing any plans after a modification request to standards in this Section, the Planning Commission shall use the following criteria:
 1. The goals, intent and vision of the adopted Comprehensive Growth Map and the purpose and intent of this section;
 2. The extent to which the proposal fits the adjoining design context by providing appropriate building scale and use transitions;
 3. The extent to which the proposal provides public benefits such as usable public open space, livable streets, affordable housing, structured and/or shared parking, and linkages to transit;
 4. The extent to which the proposal does not hinder future opportunities for higher intensity development; and
 5. Consideration of health and welfare of the general public.

2.3 Subdivision Regulations

The subdivision of land shall be required and administered subject to the requirements of Chapter 14, Article 5.

2.4 Nonconforming Uses

Shall meet standards in Section 14-720, Nonconforming lots, uses of land, structures, and uses of structures and premises.

2.5 Noncomplying Structures and Sites

A noncomplying structure or site may be altered or enlarged, provided that such alteration or enlargement shall neither create any new nonconformity, nor shall increase the degree of the existing nonconformity of all or any part of such structure or site. Attachment 1 shall provide examples of acceptable additions to noncomplying structures in the URDC area. Creation of non-conditioned spaces such as rooftop terraces, patios, and outdoor dining areas that increase the degree of non-conformity spatially shall be allowed even if they create a new non-conformity or increase the degree of existing non-conformity.

2.6 Amendments to the URDC

Amendments and changes to the URDC Zoning Plan, text and property boundaries beyond those expressly permitted under this Section shall be in accordance with the procedure set out in the City Code.

3.0 Schedule of Permitted Uses

3.1 Applicability

Due to the emphasis on urban form over land uses in the URDC, general use categories have been identified by zone (Table 3-1: Schedule of Uses).

- a) **Use Determination:** The Director of Community Development or his or her designee is responsible for categorizing all uses. If a proposed use is not listed in a use category, but is similar to a listed use, the Director of Community Development or his or her designee shall place the proposed use under that use category. A use not specifically listed shall be prohibited unless it is found to be similar to another listed use as described using the criteria below. The Director of Community Development or his or her designee's decision may be appealed to the PC for final determination. When determining whether a proposed use is similar to a listed use, the Director of Community Development or his or her designee may consider any other following relevant criteria, especially as it relates to any direct impacts on adjoining roadways and/or neighborhoods:
 - i) The actual or projected characteristics of the proposed use;
 - ii) The relative number of employees;
 - iii) Hours of operation;
 - iv) Buildings and site arrangement;
 - v) The relative amount of site area or floor area and equipment devoted to the proposed use or uses;
 - vi) Types of vehicles used and their parking requirements;
 - vii) Relative amounts of sales;
 - viii) Transportation demand by all modes, including the number of vehicle, transit, and bike/walk trips generated and whether existing or proposed infrastructure is adequate to serve those trips;
 - ix) The likely impact on surrounding properties; or
 - x) Whether the activity is likely to be found independent of the other activities on the site.

3.2 Uses Permitted with Criteria

Certain uses are permitted with criteria established in Table 3-2. These uses will only be permitted to documented adherence to the design criteria and by approval of the Director of Community Development or his or her designee.

Table 3-1: Schedule of Uses				
P = Permitted	— = Not Permitted	P/C = Permitted with criteria		A = Accessory Use
URDC Zone	Uptown Core Mixed Use (U-COR)	Uptown Entertainment (U-ENT)	Uptown Commercial Mixed Use (U-COM)	Uptown Neighborhood Transition (U-NBT)
Land Use				
Commercial Uses (Office, Retail, Sales and Service Uses)				
Art, antique, museum, furniture or galleries (retail, repair or fabrication; excludes auto or electronics sales or service)	P	P	P	—
Auto-related sales establishments	—	—	—	—
Finance, insurance, and real estate establishments including banks, credit unions, real estate, and property management services, with no drive through facility	P	P	P	—
Fitness, recreational sports, gym, athletic club, dance or yoga studio	P	P	P	—
Food service uses such as full-service restaurants, cafeterias, bakeries catering and snack bars with no drive through facilities. Included in this category is café seating within a public or private sidewalk area with no obstruction of pedestrian circulation. Also included in this category is the sale of alcoholic beverages.	P	P	P	—
Offices for business, professional, administrative, and technical services such as accountants, architects, lawyers, doctors, etc.	P	P	P	P
Pet and animal sales or service, with no outside kennels	P	P	P	—
Retail sales or service with no drive through facility (includes alcohol sales)	P	P	P	—

Table 3-1: Schedule of Uses				
P = Permitted — = Not Permitted P/C = Permitted with criteria A = Accessory Use				
URDC Zone	Uptown Core Mixed Use (U-COR)	Uptown Entertainment (U-ENT)	Uptown Commercial Mixed Use (U-COM)	Uptown Neighborhood Transition (U-NBT)
Retail sales or service with drive through facility (includes retail with associated fuel sales and alcohol sales)	—	—	—	—
Theater, cinema, or music venue	P	P	P	—
Educational, Public Administration, Health Care and Other Institutional Uses				
Business associations and professional membership organizations	P	P	P	—
Child day care and preschools	P	P	P	—
Funeral homes	P	P	P	—
Hospitals and nursing establishments	P	P	P	—
Public administration uses (including local, state, and federal government uses, public safety, health and human services)	P	P	P	—
Schools, libraries, community/civic facilities and religious institutions	P	P	P	P
Social, fraternal and philanthropic organizations	P	P	P	—
Universities and colleges and technical, trade, and specialty schools	P	P	P	—
Residential and Lodging Uses				
Accessory building residential unit (garage apt.)	—	—	—	P
Bed and breakfast (10 or fewer rooms and owner managed)	P	P	P	P
Hotel	P	P	P	—
Manufactured housing	—	—	—	—
Multi-family residential ground floor *See Subsection 5.4 - Commercial Ready Standards	P*	—	P	P
Multi-family residential upper floors	P	P	P	P
Multi-unit home	P	—	P	P
Single-family residential, attached dwelling unit (townhomes)/patio home, duplex	P	—	P	P
Single-family residential, detached	—	—	—	P
Manufacturing, Transportation, Communication, and Utility Uses				

Table 3-1: Schedule of Uses				
P = Permitted — = Not Permitted P/C = Permitted with criteria A = Accessory Use				
URDC Zone	Uptown Core Mixed Use (U-COR)	Uptown Entertainment (U-ENT)	Uptown Commercial Mixed Use (U-COM)	Uptown Neighborhood Transition (U-NBT)
Auto service establishment	—	—	—	—
Brewery, distillery and winery	P/C	P/C	P/C	—
Commercial food, textile and product manufacturing	—	P	—	—
Heavy manufacturing that may produce hazardous waste	—	—	—	—
Mini-storage	—	—	—	—
Miscellaneous light manufacturing (manufacturing processes that do not create hazardous waste)	P	P	P	—
Transportation services (air, rail, road, truck and freight)	P	P	—	—
Telecommunications and broadcasting (radio, TV, cable, wireless communications, telephone, etc.)	P	P	P	—
Utilities and utility services (electric, natural gas, alternative)	P/C	P/C	P/C	P/C
Wholesale trade establishment/warehouse and storage services	A	A	—	—
Other Uses				
Food trucks, food truck parks (See City of Rogers Code of Ordinances for standards on food trucks and food truck parks)	P	P	P	—
Home occupations	A	A	A	A
Parking, structured	P	P	P	—
Temporary use, other	P/C	P/C	P/C	P/C
Temporary use, surface parking lot	P/C	P/C	P/C	—
Veterinary clinic with outdoor services	—	—	—	—

Table 3-2: Use Criteria Table		
Use	URDC Zone	Use Criteria

Manufacturing, Transportation, Communication, and Utility uses		
Brewery, Distillery and Winery	U-COR U-COM U-ENT	All brewing, distillery or winery equipment and process shall be conducted indoors at all times.
Utilities and utility services (electric, natural gas, alternative)	All URDC Zones	i) Outdoor storage of fleet vehicles, service areas, utility boxes and equipment shall NOT be permitted located along Pedestrian-Priority Streets. ii) All such areas along other streets shall be screened with a required street screen (at least as high as the equipment being screened) (see Subsection 8.3 for standards).
Other Uses		
Temporary Use, Other	All URDC Zones	Any temporary use shall require a time limit not to exceed two years and be approved by Planning Commission. After the two-year time limit, the applicant may receive a renewal of the temporary use.
Temporary Use, Surface Parking Lot	U-COR U-COM U-ENT	i) New surface parking lots shall be permitted as an interim use of property if they are the primary use of property. ii) Applications for new surface lots shall include in-fill building concepts on the lot with a site plan that meets the build-to-zone and building frontage standards of the specific character zone. iii) New surface parking shall be set back a minimum of 30' from the edge of the right-of-way of Pedestrian-Priority Streets. iv) New surface parking shall not be located at a street intersection (of any Pedestrian-Priority and Pedestrian-Friendly Streets only) for minimum of 30' from the intersection along each street.

4.0 Building Form and Development Standards

Building form and development standards applicable to each URDC zone are described in this Subsection. The images and graphics through this Subsection are provided as illustrative of intent and are advisory only. Refer to the standards on the following pages for the specific standards.

In addition, the graphics used to illustrate the standards in each URDC zone are NOT intended to indicate exact conditions within each URDC zone. Rather, illustrations are conceptual and standards are to be applied based on the specific frontage types designated along the subject property or site. Also, the illustrations may depict other site elements to establish context and only the standards regulated by the specific Subsection shall apply.

Building form graphics in this Subsection are NOT TO SCALE.

4.1 General to All URDC Zones

- a) **Building Frontage Designations:** Building Frontage designations shall be indicated by the applicant as part of the Large-Scale Development Plan submittal, subject to the minimum standards of each URDC zone. New street frontages, as they are designed, shall be designated as one of the three classifications, with allocation review by the Director of Community Development or his or her designee. Building frontages are classified into one of the following three categories:
 - i) **Pedestrian-Priority:**
 1. Pedestrian-Priority Frontages are intended to provide the most pedestrian-friendly and contiguous development context. Buildings and sites along Pedestrian-Priority Frontages shall be held to the highest standard of pedestrian-

oriented design and few, if any, gaps shall be permitted in the "street wall." Breaks in the street wall may be permitted for courtyards, forecourts, sidewalk cafés, and pedestrian connections between the individual sites and the public sidewalk. These street frontages are the main retail, restaurant, entertainment streets or are important neighborhood connectors.

2. The area between the building façade and property line or edge of any existing sidewalk along any street with Pedestrian-Priority Frontage shall be designed such that the sidewalk width shall be the minimum of the designated street cross section and the remainder of any setback area shall be paved flush with the public sidewalk. Sidewalk cafés, public art, landscaping within tree-wells or planters may be incorporated within this area.

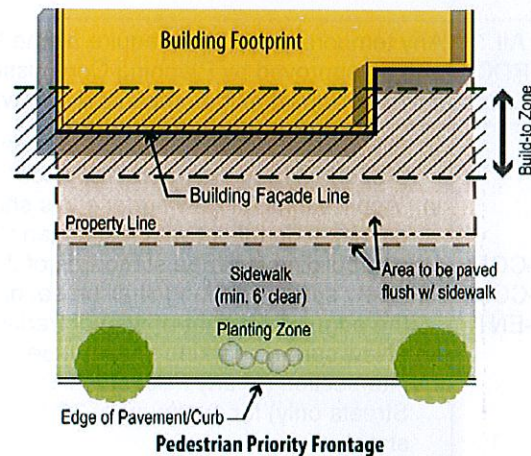


Illustration showing requirements along Pedestrian-Priority Frontages

- ii) **Pedestrian-Friendly** - Pedestrian-Friendly Frontages are also intended to be pedestrian-oriented with a mostly contiguous development context. However, in some locations, where access to a General Frontage street or Alley is not available, Pedestrian-Friendly Frontages may need to accommodate driveways, parking, service/utility functions, and loading and unloading. In such cases, Pedestrian-Friendly Frontages may balance pedestrian orientation with automobile accommodation. Typically, they shall establish a hybrid development context that has a more pedestrian-supportive development context at street intersections and accommodates auto-related functions and surface parking in the middle of the block. Surface parking shall be screened from the roadway per Subsection 8.3 of this Section.
- iii) **General** - General Frontages are intended to accommodate more auto-oriented uses, surface parking, and service functions on a site with a more suburban/automobile orientation. The General Frontages shall be any frontage not designated as either a Pedestrian-Priority or Pedestrian-Friendly Frontage.

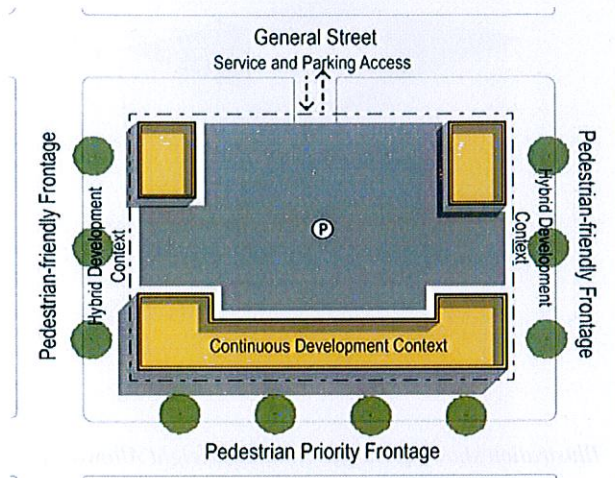


Illustration showing the application of Frontage Types and their related development context

b) Treatment of Street Intersections:

- i) At the intersections of Pedestrian-Priority and Pedestrian-Friendly Frontages, corner building street façades shall be built within the Build-to-Zone (BTZ) for a minimum of 30 feet from the intersection, along each street, or the width of the lot, whichever is less.
- ii) Corners of buildings are permitted to have curved or chamfered forms, recessed entries or public open space at these corners.
- iii) In the case of public open space at the corner, the building shall wrap along the public open space.

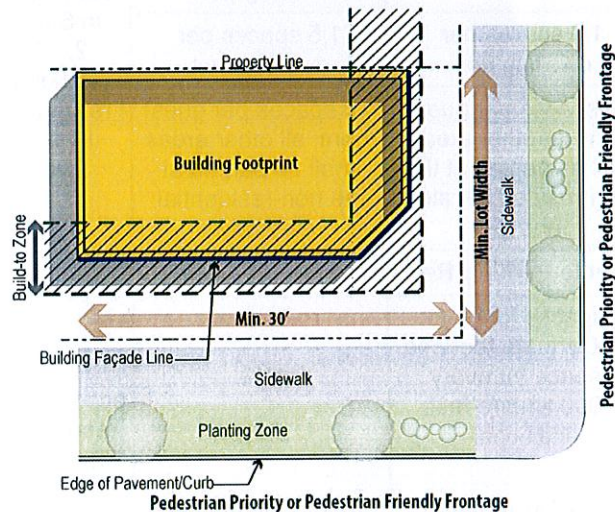


Illustration showing minimum frontage requirements at an intersection of Pedestrian-Priority and Pedestrian-Friendly Frontages

- iv) Corner buildings may exceed the maximum building height by 25% along no more than 20% of the building frontage along each corresponding street façade.

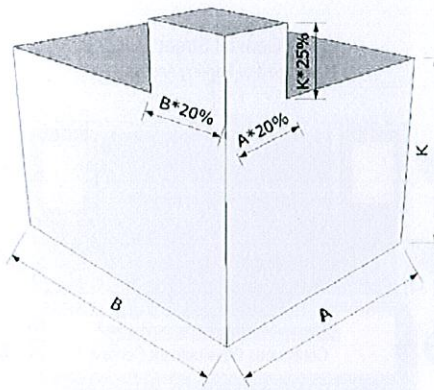


Illustration showing Corner Building Height Allowance

c) **Parking and Service Access:**

- i) Location of parking (structured and surface lots) shall be per URDC zone form standards, Subsections 4.2 through 4.5.
- ii) Required off-street parking spaces shall be calculated per Table 4-1 below.

Table 4-1: Parking Ratios			
URDC Zone	U-COR, U-COM, U-ENT	U-NBT	Additional Criteria
Minimum Off-Street Vehicular Parking Requirements			
All non-residential uses and ground floor commercial spaces	No requirement	1 space per 300 square feet of building area	1. Landscaping within surface parking lots shall meet standards in Subsection 8 of this Section. 2. A shared parking plan or Parking Concept Plan for non-residential uses may be required by the Director of Community Development or his or her designee.
Residential Uses	1.0 spaces per dwelling unit	1.5 spaces per dwelling unit	
Lodging Uses (bed and breakfast and hotels)	0.5 spaces per guest room; all other areas shall be parked at the non-residential rate above.	1.0 spaces per guest room; all other areas shall be parked at the non-residential rate above.	
Minimum Bicycle Parking Requirements (in addition to vehicular parking)			
All non-residential uses and ground floor commercial spaces	2 spaces for up to 3,000 square feet and 1 space for every 1,000 square feet additional	N/A	1. Bicycle Parking may be accommodated with design appeal and within key locations on site. 2. Bicycle parking located on-street counts towards bicycle parking requirement.
Multi-Family Residential (may be accommodated in specific units)	15% of all required vehicular parking	20% of all required vehicular parking	

- iii) Driveways, Alleys and Service Access:

1. Unless otherwise specified in the specific URDC zone standards in Subsections 4.2 through 4.5, driveways and off-street loading and unloading may be located with access along a Pedestrian-Friendly Frontage street only if the property has no access to either an alley, General Frontage street or joint use easement to an adjoining property with direct driveway access to any other street.
 2. Unless otherwise specified in the specific URDC zone standards in Subsections 4.2 through 4.5, driveways and off-street loading and unloading may be located with access along a Pedestrian-Priority Frontage street only if the property has no access to either an alley, Pedestrian-Friendly or General Frontage Street or joint use easement to an adjoining property with direct access to any other Street.
 3. Along Pedestrian-Priority and Pedestrian-Friendly Frontages, driveway spacing shall be limited to one driveway per each block face or per 200 feet of block face for blocks greater than 400 feet in length.
 4. Shared driveways, joint use easements or joint access easements shall be required for adjoining properties when driveway and service access is off a Pedestrian-Priority Frontage or Pedestrian-Friendly Frontage.
 5. Service and loading/unloading areas shall be screened per standards in Subsection 8.3.
 6. Residential Driveways:
 - a. Garages for Residential Buildings shall be located on streets with General Frontage, Alleys or at the rear of residential buildings with pull-through garages where the garage door is set back behind the rear façade of the main structure. If front-loaded garages or carports are utilized on residential uses, the garages and carports shall be no greater than to fit two cars and set back at least 20 feet measured from the Building Façade Line of the primary structure. This restriction does not apply for J-swing garages.
 - b. Front-loaded garages on residential lots less than 50 feet wide shall not be allowed. Townhomes and courtyard apartments shall utilize garages with access from streets with General Frontage, Alleys, or joint use easement to an adjoining property with direct access to any other Street.
- d) **Measuring heights:**
- i) Chimneys, vents, elevator and stair enclosures, screened HVAC equipment, other mechanical enclosures, tanks, solar energy systems and similar elements are exempt from the height limit.
 - ii) Internal building height shall be measured from finished floor to the bottom of the structural members of the ceiling.
 - iii) Floor-to-floor heights shall not apply to parking structures or civic buildings.
 - iv) Permitted corner tower elements are exempt from the height limit, except to the extent of the permitted tower height as denoted in Subsection 4.1(b)iv of this Section.
- e) **Encroachments:**
- i) Encroachments into R-O-W:
 1. Maximum of 50% of the depth of the sidewalk when there is no vertical support for the object (except blade signs which shall encroach no more than 6 feet from the building façade line).
 2. Maximum of 100% of the depth of the sidewalk when using a gallery, arcade or colonnade system.

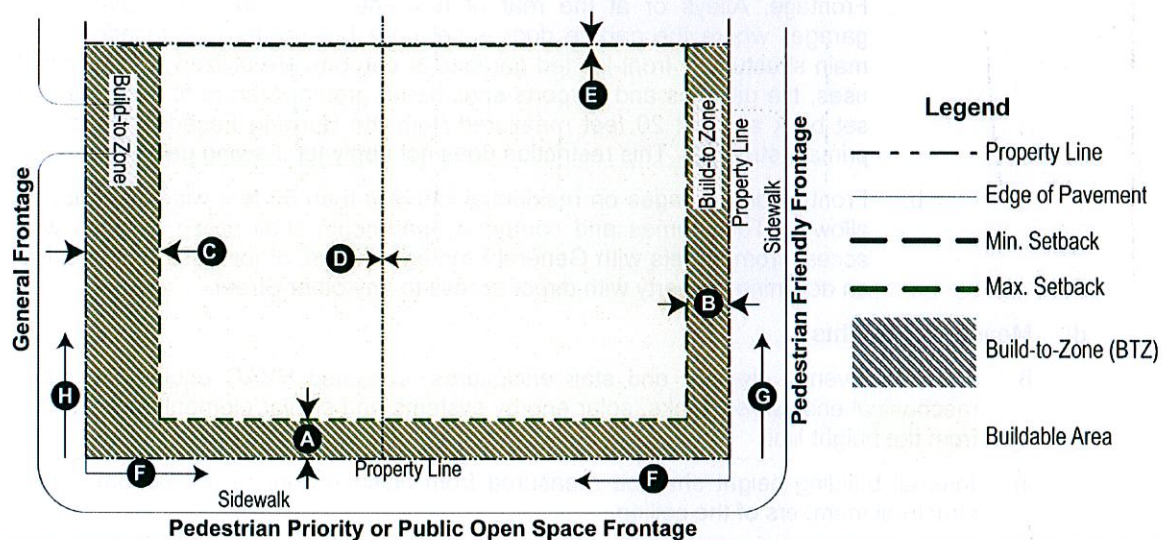
3. Minimum vertical clearance from the finished sidewalk shall be 8 feet.
 4. In no case shall an encroachment be located over an on-street parking area, travel lane or landscaping/street trees.
 5. Encroachments over ArDOT roadways shall adhere to ArDOT policy.
- ii) Overhangs within Required Setbacks: Canopies, awnings, galleries, and balconies may overhang within any required setback area per standards established in each URDC zone as long as the vertical clearance is a minimum of 8 feet from the finished sidewalk elevation.

4.2 Uptown Core Mixed Use (U-COR)

- a) **Intent:** The purpose of the Uptown Core Mixed Use zone is to anticipate higher intensity growth within the Uptown Rogers area and to expand the core to include key locations for mixed-use development that are compatible with the vision of the Comprehensive Growth Map. The intent is to mix commercial uses with some residential and public uses. Focusing on pedestrian facilities and unique experience destinations will be a key to establishing Uptown Rogers as a place for public interaction.

Development Standards within this URDC zone specifically address the unique aspects of development in this area by respecting the existing development pattern while allowing high-density, pedestrian-oriented development to occur.

- b) **Building Placement:**

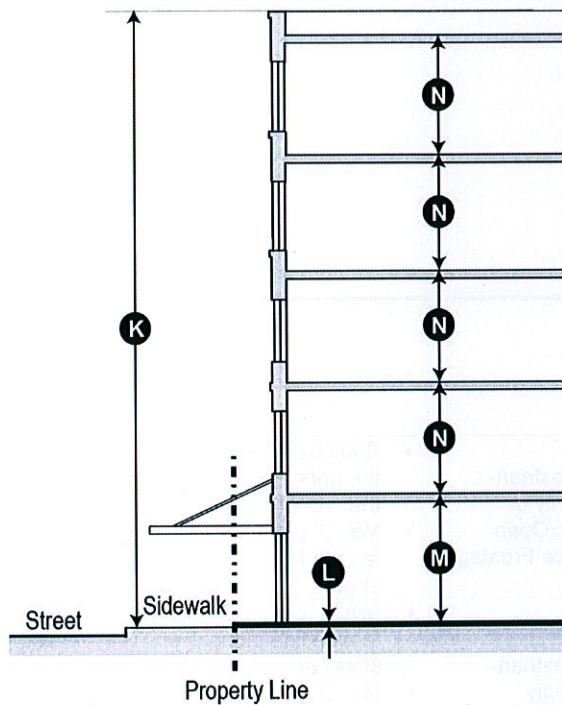


(i) **Build-to Zones (BTZs) and Setbacks**
(Distance from property line to edge of the zone)

Pedestrian-Priority Frontage/Open Space	0' min. setback – 20' max. setback	A
Pedestrian-Friendly Frontage	0' min. setback – 25' max. setback	B
General Frontage	0' min. setback – 50' max. setback	C
Side	0' min. setback; no max. setback	D
Rear	0' min. setback; no max. setback	E

(ii) Building Frontage		
Pedestrian-Priority /Open Space Frontage	90% min.	F
Pedestrian-Friendly Frontage	70% min.	G
General Frontage	30% max.	H

c) Building Height:



(i) Principal Building Standards

Building height	<ul style="list-style-type: none"> 12 stories maximum Transition requirement if adjacent to detached single-family zoned residential (Subsection 4.2 (d)) 	K
First floor to ceiling height (fin. floor to structure of ceiling)	<ul style="list-style-type: none"> 12' min. for all frontages 	M
Ground floor finish level	<ul style="list-style-type: none"> Maximum 12" rise for commercial ground floor. 	L
Upper floor(s) height (fin. floor to structure of ceiling)	<ul style="list-style-type: none"> No minimum 	N

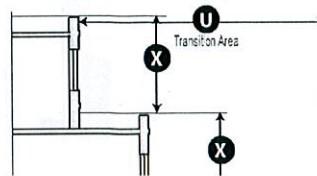
(ii) Accessory Building Standards

Accessory buildings shall meet the standards for Principal Building standards in the U-COR zone.

d) Residential Transition Standards:

The following transition standards shall apply to all new building construction and all upper story additions to existing buildings located adjacent to any existing single-family detached residential use.

i.	Transition Area	300 feet min.	U
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ii.	Max. Building Height at Required Setback	35 feet	V
iii.	Required Setback	20 feet min.	W
iv.	Required Stepback	30 foot height increase allowed every 30 feet of setback beyond V (1:1 slope)	X
An 8-foot tall masonry or block wall shall be required when adjacent to any existing single-family detached residential use and shall be optional for all other adjacencies. A 6-foot wide landscape buffer with evergreen trees (balled-and-burlapped, 8-feet at time of planting) shall be required parallel to any single-family residential lot line. (See surface parking setbacks illustration; Subsection 4.2 (e) i).			

e) **Parking & Service Access:**

(i) **Surface Parking Setbacks**

	Pedestrian-Priority or Civic/Open Space Frontage	<ul style="list-style-type: none"> Shall be located behind the principal building along that street frontage; or Min. 3' behind the building façade line along that street 	O
	Pedestrian-Friendly Frontage	<ul style="list-style-type: none"> Min. 3' behind the building façade line along that street or Min. 6' behind the property line along that street (if no buildings along the street frontage) 	Q
	General Frontage	<ul style="list-style-type: none"> Min. 3' behind the property line along that street 	Q*
	Side	<ul style="list-style-type: none"> 6' (min) only if adjacent to any single-family detached residentially zoned lot; 0' for all other adjacencies 	P
	Rear	<ul style="list-style-type: none"> 6' (min) only if adjacent to any single-family detached residentially zoned lot; 0' for all other adjacencies 	R

(ii) **Structured Parking or Below Grade Parking Setbacks**

	Pedestrian-Priority/ Civic/Open Space Frontage	<ul style="list-style-type: none"> Ground floor - Shall be min. of 30' from the property line Upper Floors - may be built to the façade line along that street 	O
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Standards for **S** and **T** in the illustrations above are referenced in standards for Driveways, Alleys and Service Access in Subsection 4.1 (c) iii.

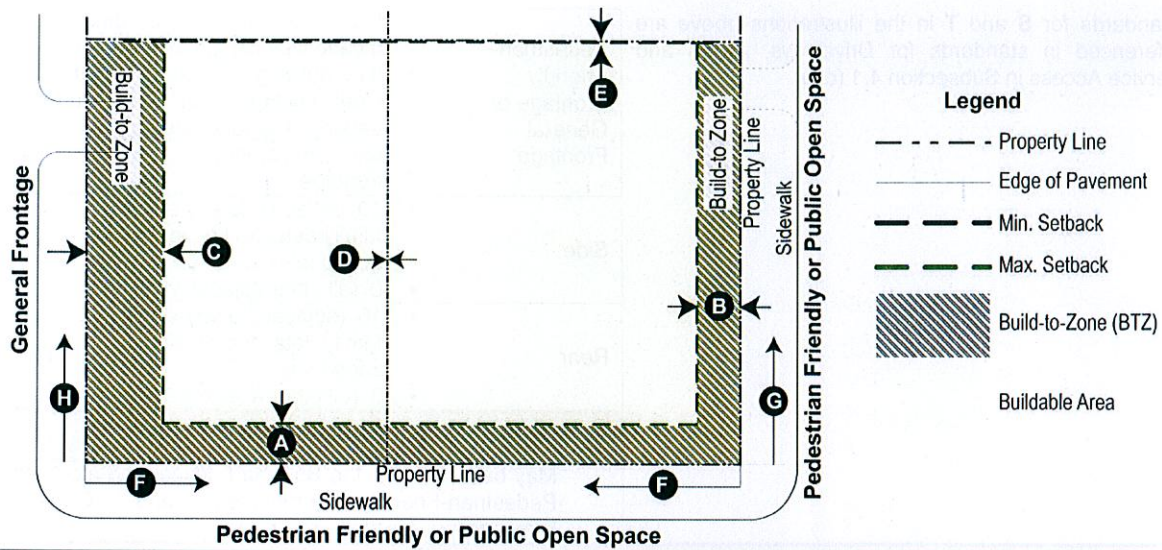
Pedestrian-Friendly Frontage or General Frontage	<ul style="list-style-type: none"> May be built up to the building façade line along that street; or If no building is located along the street frontage; then the structured parking shall meet the setback standards along that specific frontage. 	
Side	<ul style="list-style-type: none"> 10' (adjacent to any single-family detached residential zoned lots) 0' (all other adjacencies) 	P
Rear	<ul style="list-style-type: none"> 10' (adjacent to any single-family detached residential zoned lots) 0' (all other adjacencies) 	R
(iii) Partially Below Grade Parking		
May be built up to the Building Façade Line along all Pedestrian-Friendly Frontages and General Frontages.		

4.3 Uptown Commercial Mixed Use (U-COM)

- a) **Intent:** The purpose of the Uptown Commercial Mixed Use zone is to be compatible with U-COR through flexibility of uses, continuing to allow retail and commercial as primary uses, but also including high-density residential as a core use to be located within Uptown Rogers. The focus is to strike a balance between conventional forms of commercial development and high-intensity urban mixed-use development.

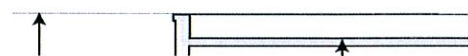
Development Standards within this URDC zone specifically address the unique aspects of development in this area by respecting the need for medium-intensity development between U-COR and existing residential areas.

- b) **Building Placement:**



(i) Build-to Zones (BTZs) and Setbacks (Distance from property line to edge of the zone)			
Pedestrian-Priority/Pedestrian-Friendly Frontage/Open Space	0' min. setback – 25' max. setback	A / B	
General Frontage	10' min. setback – 45' max. setback	C	
Side	0' min. setback; no max. setback	D	
Rear	0' min. setback; no max. setback	E	
(ii) Building Frontage			
Pedestrian-Priority/Pedestrian-Friendly/Public Space Frontage	Open	70% min.	F / G
General Frontage		60% max.	H

c) **Building Height:**

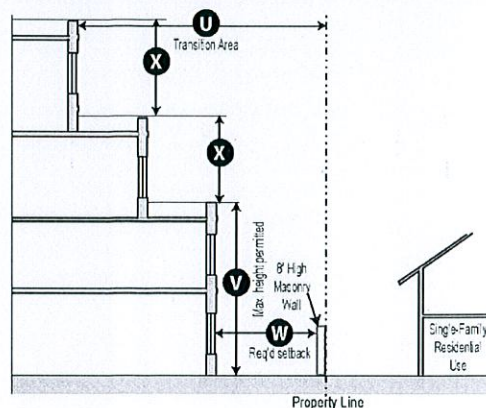


(i) Principal Building Standards

Building height	<ul style="list-style-type: none"> 5 stories maximum by right Additional floor per Allowable Adjustments (Subsection 2) Transition requirement if adjacent to detached single-family zoned residential (Subsection 4.2 (d)) 	K
First floor to ceiling height (fin. floor to structure of ceiling)	<ul style="list-style-type: none"> 12' min. for all frontages 	M
Ground floor finish level	<ul style="list-style-type: none"> Maximum 12" rise for commercial ground floor. 	L
Upper floor(s) height (fin. floor to structure of ceiling)	<ul style="list-style-type: none"> 9' min. 	N
(ii) Accessory Building Standards		
Accessory buildings shall meet the standards for Principal Building standards in the U-COM zone.		

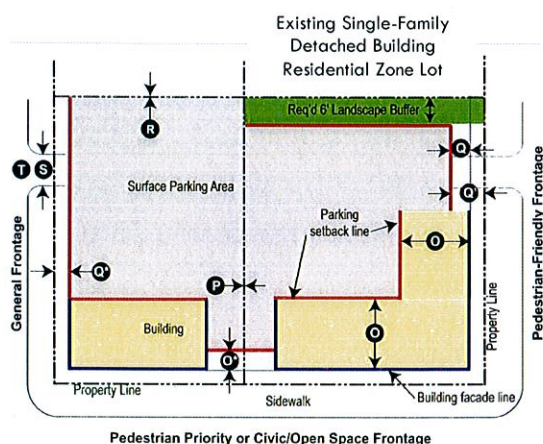
d) **Residential Transition Standards:**

The following transition standards shall apply to all new building construction and all upper story additions to existing buildings located adjacent to any existing single-family detached residential use.			
v.	Transition Area	300 feet min.	U
vi.	Max. Building Height at Required Setback	35 feet	V
vii.	Required Setback	20 feet min.	W
viii.	Required Stepback	30 foot height increase allowed every 30 feet of setback beyond V (1:1 slope)	X
An 8-foot tall masonry or block wall shall be required when adjacent to any existing single-family detached residential use and shall be optional for all other adjacencies. A 6-foot wide landscape buffer with evergreen trees (balled-and-burlapped, 8-feet at time of planting) shall be required parallel to any single-family residential lot line. (See surface parking setbacks illustration; Subsection 4.2 (e) i).			

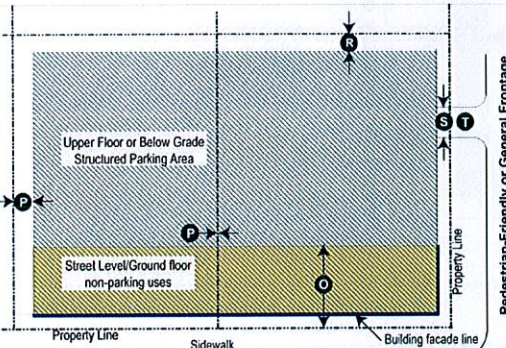


e) Parking & Service Access:

(i) Surface Parking Setbacks



Pedestrian-Priority or Civic/Open Space Frontage	▪ Shall be located behind the principal building along that street frontage; or	O
	▪ Min. 3' behind the building façade line along that street	O*
Pedestrian-Friendly Frontage	▪ Min. 3' behind the building façade line along that street or	Q
	▪ Min. 6' behind the property line along that street (if no buildings along the street frontage)	Q'
General Frontage	▪ Min. 3' behind the property line along that street	Q*
Side	▪ 6' (min) only if adjacent to any single-family detached residential zoned lot; ▪ 0' for all other adjacencies	P

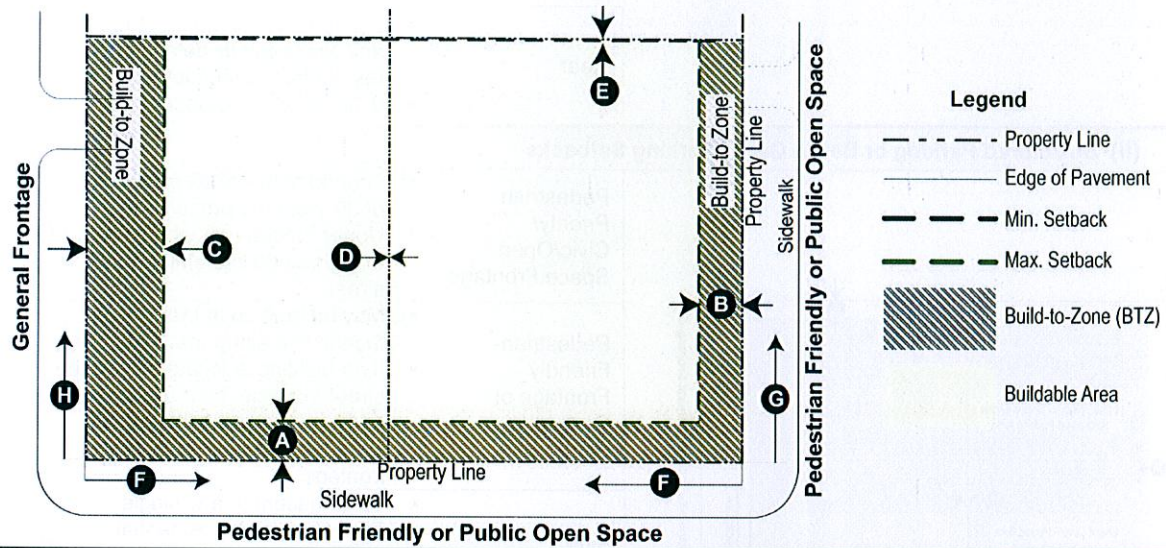
	Rear	<ul style="list-style-type: none"> 6' (min) only if adjacent to any single-family detached residentially zoned lot; 0' for all other adjacencies 	R
(ii) Structured Parking or Below Grade Parking Setbacks			
 <p>Standards for S and T in the illustrations above are referenced in standards for Driveways, Alleys and Service Access in Subsection 4.1 (c) iii.</p>	Pedestrian-Priority/ Civic/Open Space Frontage	<ul style="list-style-type: none"> Ground floor - Shall be min. of 30' from the property line Upper Floors – may be built to the façade line along that street 	O
	Pedestrian-Friendly Frontage or General Frontage	<ul style="list-style-type: none"> May be built up to the building façade line along that street; or If no building is located along the street frontage; then the structured parking shall meet the setback standards along that specific frontage. 	
	Side	<ul style="list-style-type: none"> 10' (adjacent to any single-family detached residential zoned lots) 0' (all other adjacencies) 	P
	Rear	<ul style="list-style-type: none"> 10' (adjacent to any single-family detached residential zoned lots) 0' (all other adjacencies) 	R
(iii) Partially Below Grade Parking			
May be built up to the Building Façade Line along all Pedestrian-Friendly Frontages and General Frontages.			

4.4 Uptown Entertainment (U-ENT)

- a) **Intent:** The purpose of the Uptown Entertainment zone is to focus on the goal to establish regional arts and entertainment uses within the regional center and along Interstate 49. These developments will take advantage of being accessible to trails, U-COR and Interstate 49. The intent is to mix entertainment, residential, and retail in a walkable yet flexible format.

Development Standards within this URDC zone specifically address the unique aspects of development in this area by introducing a new development pattern while allowing higher quality, pedestrian-oriented development to occur.

- b) **Building Placement:**



(i) Build-to Zones (BTZs) and Setbacks (Distance from property line to edge of the zone)		
Pedestrian-Priority Frontage/Open Space	0' min. setback – 20' max. setback	A
Pedestrian-Friendly Frontage	0' min. setback – 30' max. setback	B
General Frontage	0' min. setback – <i>Flexible</i> max. setback	C
Side	0' min. setback; no max. setback	D
Rear	0' min. setback; no max. setback	E
(ii) Building Frontage		
Pedestrian-Priority/Open Space Frontage	40% min.	F
Pedestrian-Friendly Frontage	30% min.	G
General Frontage	No max.	H

c) Building Height:

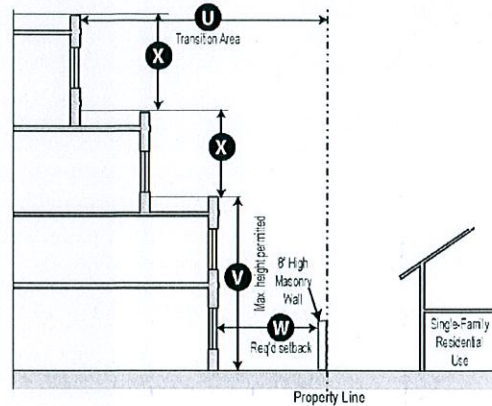


(i) Principal Building Standards

Building height	<ul style="list-style-type: none"> Unlimited maximum by right Transition requirement if adjacent to detached single-family zoned residential (Subsection 4.4 (d)) 	K
First floor to ceiling height (fin. floor to structure of ceiling)	<ul style="list-style-type: none"> 15' min. for all frontages 	M
Ground floor finish level	<ul style="list-style-type: none"> Maximum 12" rise at entries for commercial ground floor. 	L
Upper floor(s) height (fin. floor to structure of ceiling)	<ul style="list-style-type: none"> No min. 	N
(ii) Accessory Building Standards		
Accessory buildings shall meet the standards for Principal Building standards in the U-ENT zone.		

d) Residential Transition Standards:

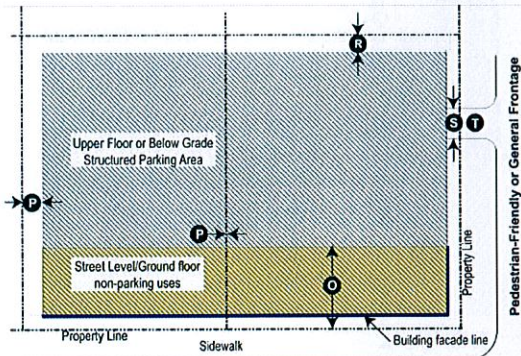
The following transition standards shall apply to all new building construction and all upper story additions to existing buildings located adjacent to any existing single-family detached residential use.			
ix.	Transition Area	300 feet min.	U
x.	Max. Building Height at Required Setback	35 feet	V
xi.	Required Setback	20 feet min.	W
xii.	Required Stepback	30 foot height increase allowed every 30 feet of setback beyond V (1:1 slope)	X
An 8-foot tall masonry or block wall shall be required when adjacent to any existing single-family detached residential use and shall be optional for all other adjacencies. A 6-foot wide landscape buffer with evergreen trees (balled-and-burlapped, 8-feet at time of planting) shall be required parallel to any single-family residential lot line. (See surface parking setbacks illustration; Subsection 4.2 (e) i).			



e) Parking & Service Access:

(i) Surface Parking Setbacks

	Pedestrian-Priority or Civic/Open Space Frontage	<ul style="list-style-type: none"> Shall be located behind the principal building along that street frontage; or Min. 3' behind the building façade line along that street 	O O*
	Pedestrian-Friendly Frontage	<ul style="list-style-type: none"> Min. 3' behind the building façade line along that street or Min. 6' behind the property line along that street (if no buildings along the street frontage) 	Q Q'
	General Frontage	<ul style="list-style-type: none"> Min. 3' behind the property line along that street 	Q*
	Side	<ul style="list-style-type: none"> 6' (min) only if adjacent to any single-family detached residentially zoned lot; 0' for all other adjacencies 	P
	Rear	<ul style="list-style-type: none"> 6' (min) only if adjacent to any single-family detached residentially zoned lot; 0' for all other adjacencies 	R

(ii) Structured Parking or Below Grade Parking Setbacks

Standards for **S** and **T** in the illustrations above are referenced in standards for Driveways, Alleys and Service Access in Subsection 4.1 (c) iii.

Pedestrian-Priority/ Civic/Open Space Frontage	<ul style="list-style-type: none"> Ground floor - Shall be min. of 30' from the property line Upper Floors – may be built to the façade line along that street 	O
Pedestrian-Friendly Frontage or General Frontage	<ul style="list-style-type: none"> May be built up to the building façade line along that street; or If no building is located along the street frontage; then the structured parking shall meet the setback standards along that specific frontage. 	
Side	<ul style="list-style-type: none"> 10' (adjacent to any single-family detached residential zoned lots) 0' (all other adjacencies) 	P
Rear	<ul style="list-style-type: none"> 10' (adjacent to any single-family detached residential zoned lots) 0' (all other adjacencies) 	R

(iii) Partially Below Grade Parking

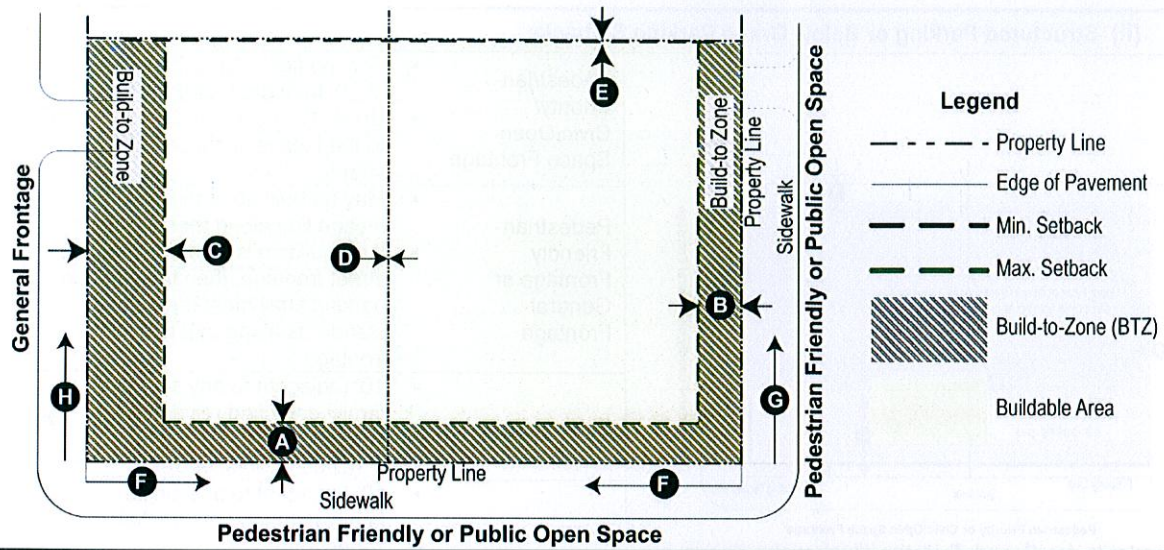
May be built up to the Building Façade Line along all Pedestrian-Friendly Frontages and General Frontages.

4.5 Uptown Neighborhood Transition (U-NBT)

- a) **Intent:** The purpose of the Uptown Neighborhood Transition zone is to support appropriate transition between existing residential neighborhoods and open space and the more active commercial and urban residential areas. The intent is to support the character of the neighborhoods around Uptown.

Development Standards within this URDC zone specifically address the unique aspects of development in this area by respecting the existing development pattern while allowing high-density, pedestrian-oriented development to occur.

- b) **Building Placement:**



(i) Build-to Zones (BTZs) and Setbacks (Distance from property line to edge of the zone)		
Pedestrian-Friendly Frontage/Public Open Space	0' min. setback – 20' max. setback	A / B
General Frontage	0' min. setback – 30' max. setback	C
Side	0' min. setback; no max. setback	D
Rear	See Parking Standards Subsection 4.5 (e)	E
(ii) Building Frontage		
Pedestrian-Friendly Frontage	50% min.	F / G
General Frontage	30% max.	H

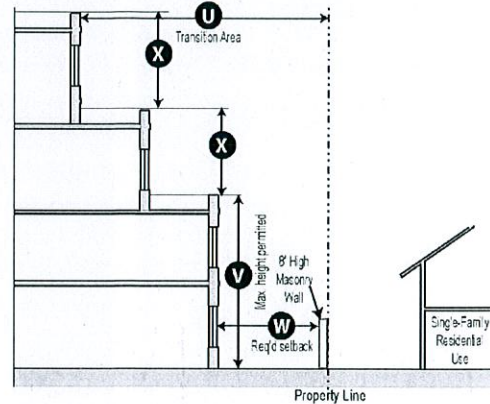
c) Building Height:

(i) Principal Building Standards

Building height	<ul style="list-style-type: none"> 3 stories maximum by right Transition requirement if adjacent to detached single-family zoned residential (Subsection 4.2 (d)) 	K
First floor to ceiling height (fin. floor to structure of ceiling)	<ul style="list-style-type: none"> 12' min. for all frontages 	M
Ground floor finish level	<ul style="list-style-type: none"> Maximum 12" rise for commercial ground floor. 	L
Upper floor(s) height (fin. floor to structure of ceiling)	<ul style="list-style-type: none"> 9' min. 	N
(ii) Accessory Building Standards		
Accessory buildings shall meet the standards for Principal Building standards in the U-NBT zone.		

d) Residential Transition Standards:

The following transition standards shall apply to all new building construction and all upper story additions to existing buildings located adjacent to any existing single-family detached residential use.			
xiii.	Transition Area	30 feet min.	U
xiv.	Max. Building Height at Required Setback	35 feet	V
xv.	Required Setback	20 feet min.	W
xvi.	Required Stepback	30 foot height increase allowed every 30 feet of setback beyond V (1:1 slope)	X
An 8-foot tall masonry or block wall shall be required when adjacent to any existing single-family detached residential use and shall be optional for all other adjacencies. A 6-foot wide landscape buffer with evergreen trees (balled-and-burlapped, 8-feet at time of planting) shall be required parallel to any single-family residential lot line. (See surface parking setbacks illustration; Subsection 4.2 (e) i).			

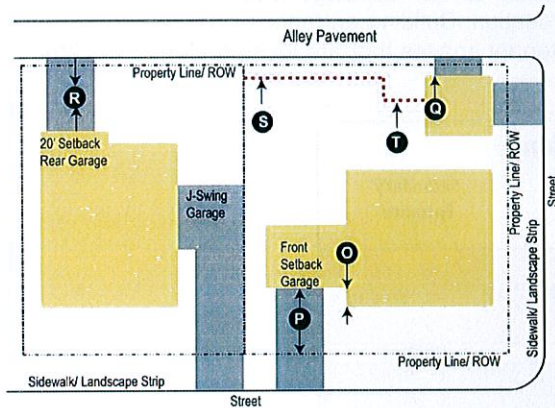


e) Parking & Service Access:

(i) Surface Parking Setbacks for Non-Residential

		<ul style="list-style-type: none"> Shall be located behind the principal building along that street frontage; or Min. 3' behind the building façade line along that street 	O
<p>Pedestrian-Friendly Frontage</p>		<ul style="list-style-type: none"> Min. 3' behind the building façade line along that street or Min. 6' behind the property line along that street (if no buildings along the street frontage) 	Q Q'
<p>General Frontage</p>		<ul style="list-style-type: none"> Min. 3' behind the property line along that street 	Q*
<p>Side</p>		<ul style="list-style-type: none"> 6' (min) only if adjacent to any single-family detached residential zoned lot; 0' for all other adjacencies 	P
<p>Rear</p>		<ul style="list-style-type: none"> 6' (min) only if adjacent to any single-family detached residentially zoned lot; 0' for all other adjacencies 	R

Standards for **S** and **T** in the illustrations above are referenced in standards for Driveways, Alleys and Service Access in Subsection 4.1 (c) iii.

(ii) Single-Family Residential Parking

Public Open Space Frontage	Min. 3' behind the building façade line along that frontage; or	O
	Shall be located behind the principal building along that street frontage	P
General Frontage	Min. 6' behind the property line along that street; or	O
	At or behind the building façade line along that frontage	P
Side / Rear	4' min; no parking permitted on driveway, OR	Q
	20' min; parking permitted on driveway	
	On corner lots where alleys are not available or not feasible, rear garages may be entered from the side street.	R
Alley Fence	4' min from edge of typical pavement or	S
	8' min from edge of typical paving where above ground franchise equipment exists	T

5.1 Purpose and Intent

The Building Design Standards for the URDC establish a coherent urban character to encourage an enduring and attractive regional center.

The key design principles establish essential goals for development within the URDC area to be consistent with the vision for Uptown Rogers to become a vibrant, walkable regional center that serves a range of commercial, civic, entertainment and residential uses that benefit the neighborhood and the region. Buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scale spaces. The key design principles are:

- New and redeveloped buildings and sites shall utilize building and site elements and details to achieve a pedestrian-oriented public realm with appropriate glazing, shading and shelter;
- Design compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity;
- Strengthen and celebrate the experience in Rogers;
- Building façades shall include appropriate architectural details and ornament to create variety and interest;
- Open space(s) shall be incorporated to provide usable public areas integral to the urban environment; and
- Increase the quality, variety, adaptability, and sustainability in Rogers' building stock.

5.2 Building Orientation and Entrances

- a) Buildings shall be oriented towards Pedestrian-Priority Frontages, where the lot has frontage along Pedestrian-Priority Frontages. If a building has no frontage along a Pedestrian-Priority Frontage, then it should front a Pedestrian-Friendly Frontage. All other buildings may be oriented towards General Streets or Public Open Spaces.
- b) Primary entrances to buildings shall be located on the street along which the building is oriented (see figure below). At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection. Building entrances shall be provided for all separate ground floor commercial use tenant spaces that are located along Pedestrian-Priority or Pedestrian-Friendly Frontage.

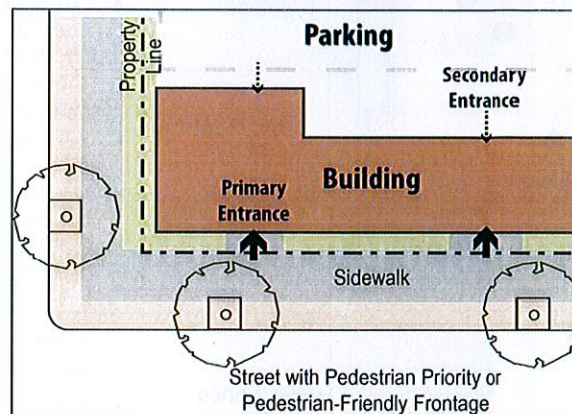
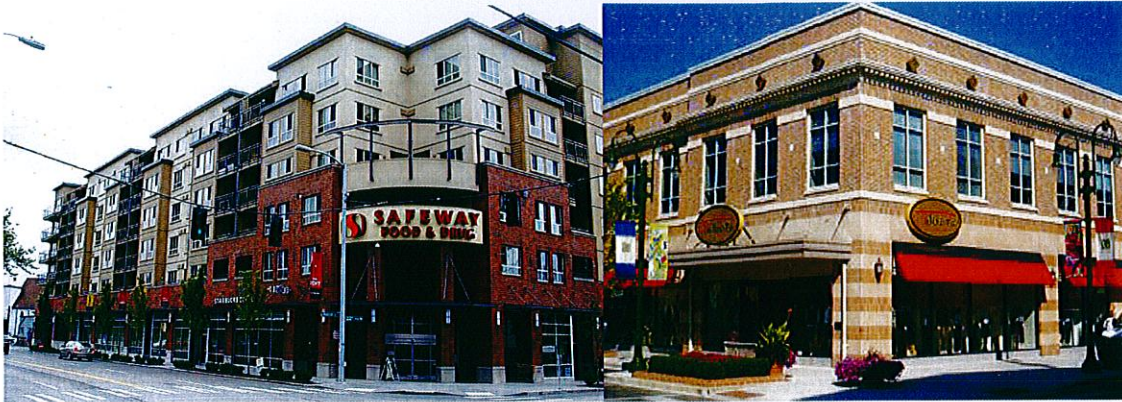


Figure showing required building orientation and location of primary entrances

- c) All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from parking areas or alleys.
- d) Primary Entrance Design: Primary building entrances along Pedestrian-Priority and Pedestrian-Friendly Frontages shall consist of at least two of the following design elements so that the main entrance is architecturally prominent and clearly visible from that street, see figures below:
 - i) Architectural details such as arches, friezes, awnings, canopies, arcades, tile work, murals, or moldings; or
 - ii) Integral planters or wing walls that incorporate landscape or seating elements; or
 - iii) Prominent three-dimensional, vertical features, such as belfries, chimneys, clock towers, domes, spires, steeples, towers, or turrets; or
 - iv) A repeating pattern of pilasters projecting from the façade wall by a minimum of eight inches or architectural or decorative columns.



Images showing appropriate transparency required along Pedestrian-Priority and Pedestrian-Friendly Frontages

5.3 Façade Composition

a) Commercial, Mixed Use and Multi-Family Use Buildings:

- i) Façades greater than 60 feet in length along all Pedestrian-Priority Frontage, Pedestrian-Friendly Frontages and Public Open Spaces shall meet the following façade articulation standards:
 1. Include façade modules so that a portion of the façade steps back or extends forward with a depth of at least 24 inches, unless an alternative use of change in materials, such as utilization of transparent, dominant, and functional storefront windows or glass block walls, accomplishes a similarly differentiated architectural outcome (see figure below).
 2. The distance from the inside edge of a building projection to the nearest inside edge of an adjacent projection shall not be less than 20 feet and not greater than 60 feet (see figure below).
- ii) All other façades shall be articulated by at least one discernable architectural element every 20 feet. Such architectural elements include, but are limited to:
 1. Changes in material, color, and/or texture either horizontally or vertically at intervals not less than 20 feet and not more than 40 feet (see figure below); or
 2. The construction of building entrances, bay windows, display windows, storefronts, arcades, façade relief, panels, balconies, cornices, bases, pilasters or columns.

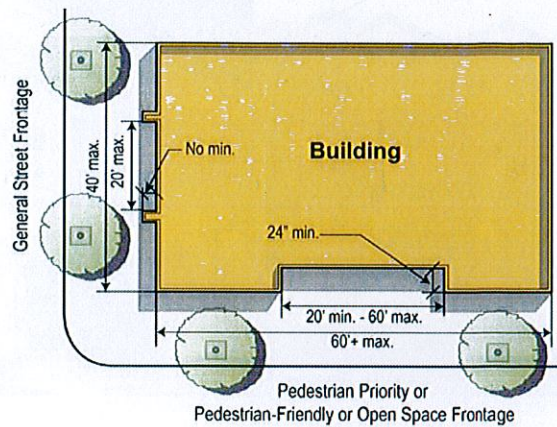


Illustration showing building articulation requirement



Images showing examples of appropriate building articulation

iii) Façade Transparency Required:

1. All façades shall meet the minimum requirement for façade glazing (percentage of glass doors and windows) as established in Table 5-2 below. Glazing for ground floor commercial uses shall be transparent enough for the public to view inside.

Table 5-2: Required Minimum Façade Glazing by Façade Frontage Type

Façade Frontage Type	Pedestrian-Priority or Pedestrian-Friendly Frontage	Public Open Space Frontage	General Frontage or Other Façades
Commercial Use or Mixed Use Buildings			
Ground Floor	50% minimum	50% minimum	None
Upper Floor(s)	20% minimum	20% minimum	None

Multi-Family Residential Use Buildings			
Ground Floor	40% minimum	40% minimum	None
Upper Floor(s)	20% minimum	20% minimum	None



Images showing appropriate transparency required along Pedestrian-Priority and Pedestrian-Friendly Frontages

b) Single-Family Detached Residential Buildings:

- i) At least one of the following shall be added along single-family residential building façades to add pedestrian interest along the street:
 1. Porches;
 2. Forecourts;
 3. Courtyards;
 4. Stoops;
 5. Eaves; or
 6. Balconies.
- ii) If a single-family residential use building is setback less than 10 feet from the front property line, the grade of the slab or first floor elevation shall be elevated at least 18 inches above the grade of the sidewalk.





Residential buildings with porches, fencing, balconies, and stoops to add interest along the street

5.4 Commercial-Ready Standards

- a) Ground floors of all buildings with Pedestrian-Priority Frontage designation shall be built to Commercial-Ready standards. In addition, the following standards shall apply (see figure below):
 - i) An entrance that opens directly onto the sidewalk according to Subsection 5.0;
 - ii) A height of not less than 12 feet measured from the entry level finished floor to the bottom of the structural members of the ceiling;
 - iii) Minimum leasable width of 20 feet;
 - iv) A front façade that meets the window glazing requirements in Subsection 5.0; and
 - v) Off-street surface parking shall be prohibited between the sidewalk and the building.

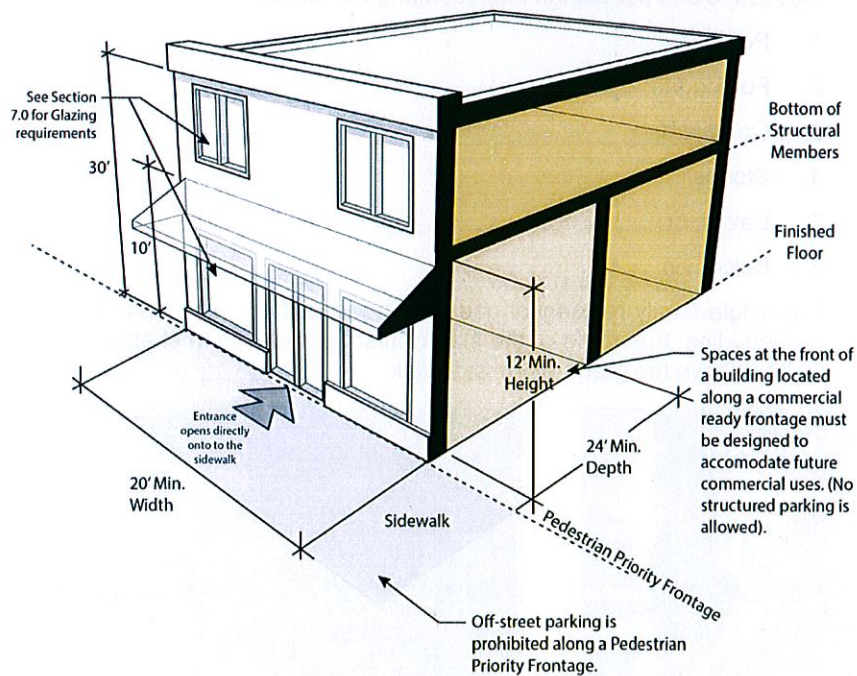
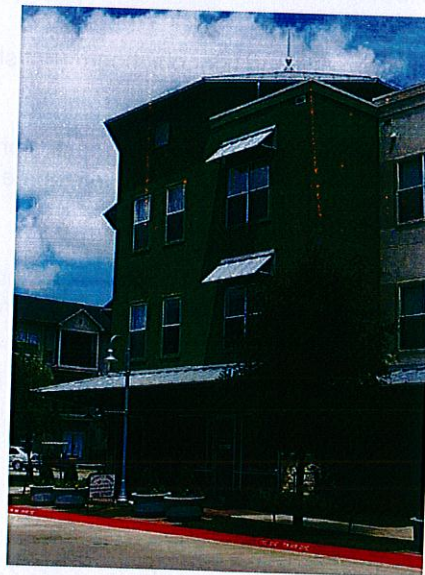


Illustration showing application of Commercial-Ready Frontage Requirements

5.5 Shading Requirement

Shading of public sidewalks, especially, sidewalks located along Pedestrian-Priority and Pedestrian-Friendly Frontages is important to implementing the vision for walkable mixed-use along the Corridor. Shading may be achieved through any combination of canopies, awnings, street trees, and other similar devices. To this end, the following standards shall apply (see figures below):

- a) Shaded sidewalk shall be provided alongside at least 50% of all building façade length with Pedestrian-Priority Frontage designation.
- b) A shaded sidewalk must meet the following requirements:
 - i) Along a street, a shaded sidewalk shall comply with the applicable sidewalk standards for its designated street type. If not otherwise required, the shaded sidewalk shall provide trees planted no more than 60 feet on center. Exception can be made for the preservation of existing mature trees that provide shading over the sidewalk.
 - ii) Building entrances along Pedestrian-Priority and Pedestrian-Friendly Frontages shall be located under a shade device, such as an awning, portico, or other artificial shade structure, as approved by the Director of Community Development or his or her designee.
 - iii) Shading devices shall adhere to Streetscape clearance standards in Subsection 8 (Streetscape Standards).



Images showing examples of shading along sidewalks

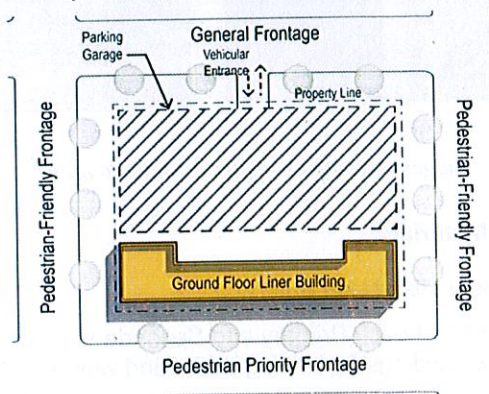
5.6 Exterior Building Materials

- a) Commercial and Mixed Use Buildings:
 - i) At least 70% of each Primary and Secondary street facing façade (not including alleys) of all new buildings (excluding doors and windows) shall be externally finished with:
 1. Masonry, including brick, stone, glass block, marble, granite, cast stone, or other durable material as approved by the Director of Community Development or his or her designee.

2. Architectural metal may be used in the U-ENT zone.
- ii) Additions to existing buildings, to the extent possible, shall match the existing external finish materials and corresponding proportions of such building.
- iii) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the Director of Community Development or his or her designee.
- iv) No more than 30% of each Primary and Secondary street fronting façades (except alleys) shall use accent materials such as:
 1. Wood;
 2. Split-face concrete block;
 3. Tile;
 4. Stucco (3-step application process);
 5. Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty; or
 6. Exterior Insulating Finishing System (EIFS) on upper floors only.
 7. Architectural metal.
- b) Residential Use Buildings: At least 70% of all Primary and Secondary street fronting façades (except alleys) of residential buildings shall be finished with one or more of the following materials. No more than three different materials shall be used on any single façade:
 - i) Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty;
 - ii) Lap-sided wood; or
 - iii) Masonry (brick, stone, cast stone or other durable material as approved by the Director of Community Development or his or her designee).

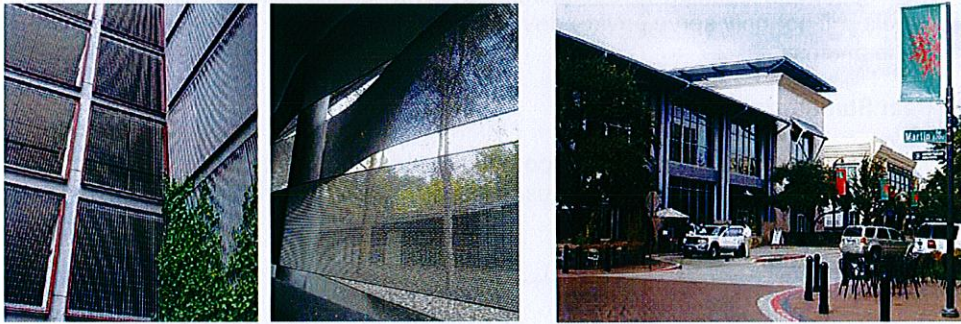
5.7 Design of Parking Structures

- a) All ground floors of parking garages located on Pedestrian-Priority Frontages shall be built to Commercial-Ready standards to a minimum depth of 24 feet, or be fully screened by a liner building.
- b) To the extent possible, the amount of Pedestrian-Priority Frontage devoted to a parking structure shall be minimized by placing the shortest dimension(s) of the parking structure along the Pedestrian-Priority edge(s), see figure below.



Allowed Parking Garage Configurations

- c) Where above ground structured parking is located at the perimeter of a building with Pedestrian-Priority Frontage, it shall be screened in such a way that cars on all parking levels are completely screened from view (see figures below). Architectural screening shall be used to articulate the façade, hide parked vehicles, and shield lighting. Parking garage ramps shall not be visible from any Pedestrian-Priority Frontages. Ramps shall not be located along the exterior perimeter of the parking structure.



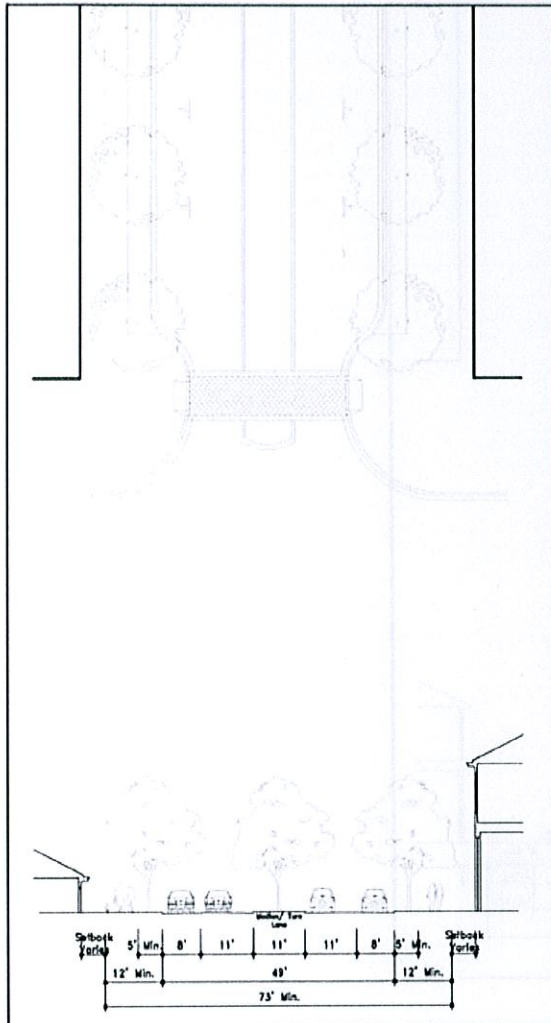
Illustrative Examples of Parking Garage Screening

- d) Ground floor façade treatment (building material, windows and architectural detailing) shall be continued to the second floor of a parking structure along all Pedestrian-Priority Frontages (see figure below).
- e) When parking structures are located at street intersections, corner emphasizing elements shall be incorporated. These include towers, pedestrian entrances, signage, glazing, etc.
- f) Parking structures and adjacent sidewalks shall be designed so pedestrians and bicyclists are clearly visible to entering and exiting automobiles. These may include sight distance clearance, signage, and other warning signs.

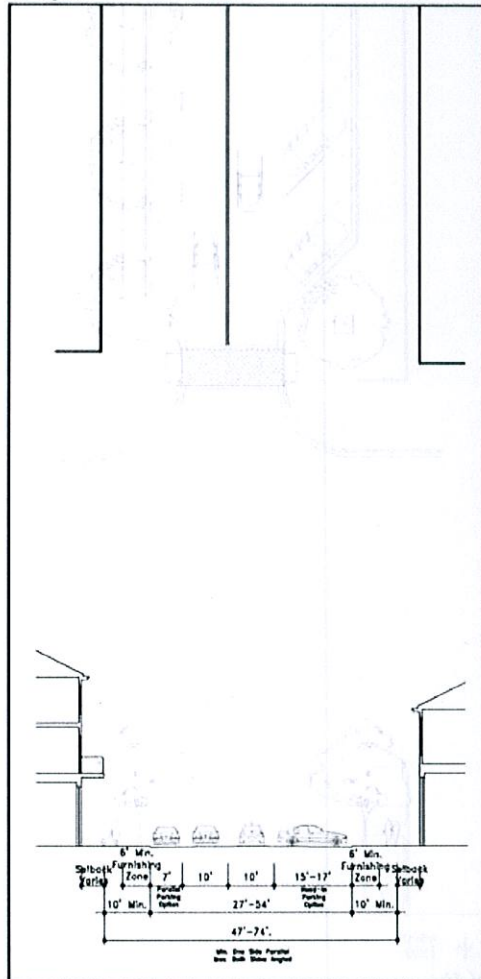


Images showing appropriate design of Parking Structure

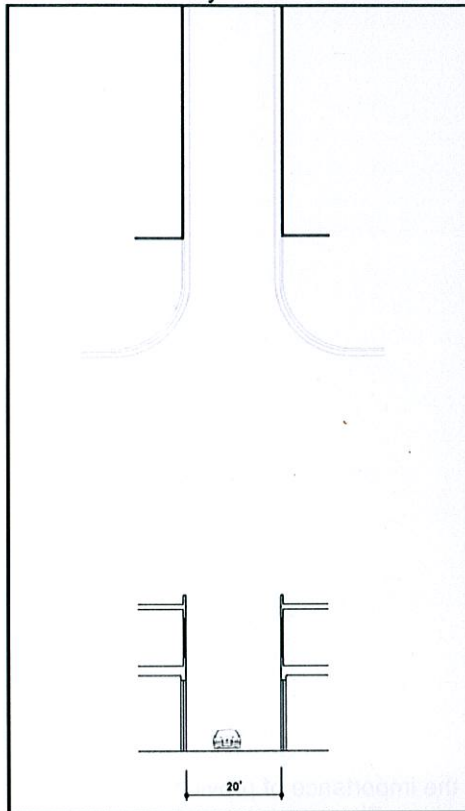
b) Connector Street



c) Neighborhood Street



d) Commercial Alley



e) Residential Alley

STANDARD 1.01: The design team shall identify the variety of public uses and activities that are likely to occur in the area and provide for the needs of the community. The design team shall provide for the needs of the community by providing for the needs of the community.

STANDARD 1.02: The design team shall provide for the needs of the community by providing for the needs of the community.

STANDARD 1.03: The design team shall provide for the needs of the community by providing for the needs of the community.

STANDARD 1.04: The design team shall provide for the needs of the community by providing for the needs of the community.

STANDARD 1.05: The design team shall provide for the needs of the community by providing for the needs of the community.

STANDARD 1.06: The design team shall provide for the needs of the community by providing for the needs of the community.

STANDARD 1.07: The design team shall provide for the needs of the community by providing for the needs of the community.

STANDARD 1.08: The design team shall provide for the needs of the community by providing for the needs of the community.

STANDARD 1.09: The design team shall provide for the needs of the community by providing for the needs of the community.

STANDARD 1.10: The design team shall provide for the needs of the community by providing for the needs of the community.

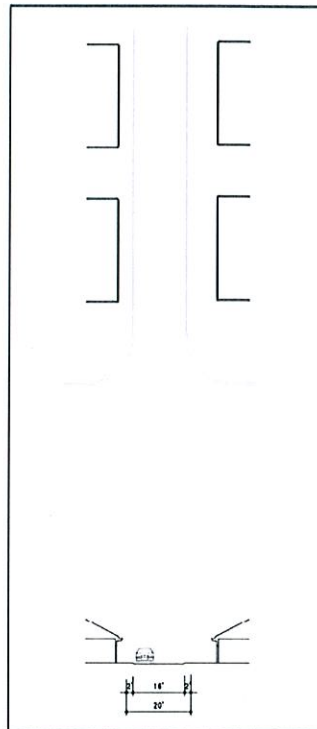
STANDARD 1.11: The design team shall provide for the needs of the community by providing for the needs of the community.

STANDARD 1.12: The design team shall provide for the needs of the community by providing for the needs of the community.

STANDARD 1.13: The design team shall provide for the needs of the community by providing for the needs of the community.

STANDARD 1.14: The design team shall provide for the needs of the community by providing for the needs of the community.

STANDARD 1.15: The design team shall provide for the needs of the community by providing for the needs of the community.



7.0 Open Space Standards

7.1 Purpose and Intent

The vision for Uptown Rogers recognizes the importance of providing a network of open spaces with passive and active recreation opportunities. The open space network will be serviced by an interconnected network of sidewalks, trails and paths for pedestrians and bicyclists alike, providing desired amenities and facilities for residents and visitors to Uptown Rogers.

The Open Space Standards identify the variety of public open space types that are available and appropriate in Uptown Rogers and serve as a means to categorize the various public open space types that will be used in the area.

7.2 Open Space Classification

Within the URDC area, all Open Space shall fall into one of the following classifications:

- a) **Public Open Space:** Open air or unenclosed to semi-unenclosed areas intended for public access and use. These areas range in size and development and serve to complement and connect surrounding land uses and code requirements. Public Open Space may be publicly or privately owned and maintained.
- b) **Private Common Open Space:** Privately owned and maintained outdoor, unenclosed or semi-unenclosed area located on the ground or on a terrace, deck, porch or roof. This open space is designed and accessible for outdoor gathering, recreation and landscaping and is intended for use by the residents, employees, and/or visitors to the development.

7.3 Open Space Requirements

- a) A minimum of 5% of the site area is required to be open space (public or private or both) for any development.
- b) All non-residential development in the U-COM or U-COR zones shall provide four square feet of Public Open Space or Private Common Open Space for every 100 square feet of

non-residential space or fraction thereof. This standard shall only apply to all site plans two acres in size or larger.

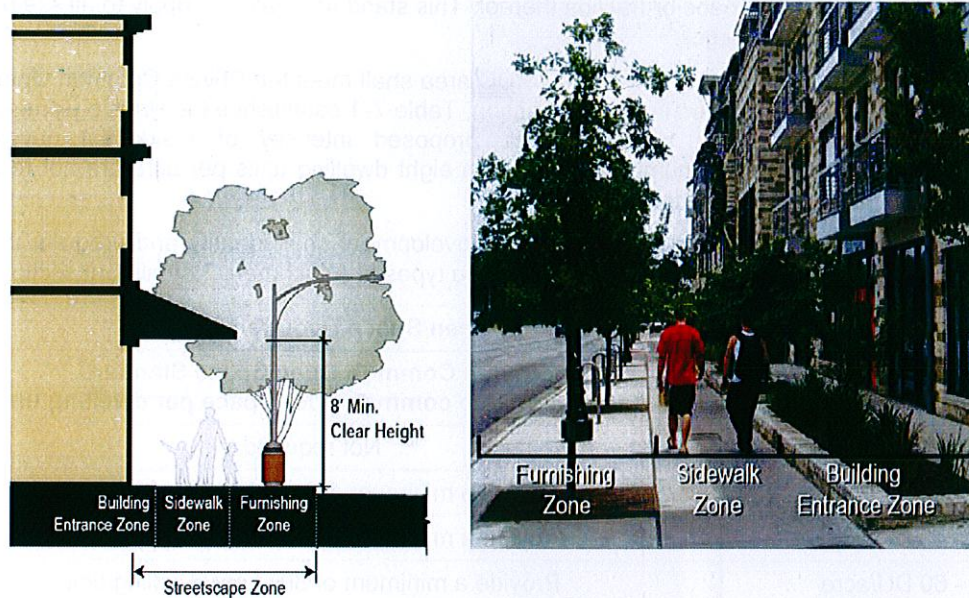
- c) All residential development in the URDC area shall meet the Private Common Open Space standards established in this Subsection. Table 7-1 establishes the Private Common Open Space requirement based on the proposed intensity of residential development. Residential projects numbering less than eight dwelling units per acre are not required to provide Private Common Open Space.
- d) Any Public Open Space provided in a development shall identify and program the Public Open Space per the palette of open space types in Attachment 2 of this Subsection.

Table 7-1: Private Common Open Space Requirements	
Residential Density (dwelling units per acre)	Private Common Open Space Standard (area of private common open space per dwelling unit)
0 - 8 DU/acre	Not required
8 - 20 DU/acre	Provide a minimum of 160 sf per dwelling unit
20 - 40 DU/acre	Provide a minimum of 120 sf per dwelling unit
40 - 60 DU/acre	Provide a minimum of 80 sf per dwelling unit
More than 60 DU/acre	Provide a minimum of 60 sf per dwelling unit

8.0 Streetscape Standards

8.1 Streetscape Zone

- a) Streetscapes are required for all development in the URDC area and shall meet the standards of this Subsection. The Streetscape Zone shall consist of the following, see figures below:
 - i) **Furnishing Zone:** The furnishing zone is intended for the placement of function street items. These items include street trees, street furniture, lighting, waste receptacles, fire equipment, signage, vending boxes, bus shelters, bicycle racks, public utility equipment and other elements that may disrupt pedestrian activity. In residential areas, the furnishing zone may be fully landscaped, whereas in mixed use or commercial areas, the furnishing zone may be fully paved. These items may be placed in a manner that does not obstruct pedestrian access or motorist visibility.
 - ii) **Sidewalk Zone:** The sidewalk zone shall be hardscape and shall be located adjacent to the furnishing zone. The sidewalk zone shall comply with ADA and local accessibility standards and shall be unobstructed by any permanent or non-permanent element for the required minimum width and a minimum height of eight feet. Accessibility is required to connect sidewalk zones on adjacent sites.
 - iii) **Building Entrance Zone:** The building entrance zone is an area adjacent to the building frontage along the sidewalk zone. The building entrance zone shall be a minimum of two feet in width.



Illustrations delineating the Streetscape Zone elements

8.2 Screening Standards

a) Street Screen Requirement:

- i) Along all Pedestrian-Priority and Pedestrian-Friendly Frontages with surface parking within the BTZ shall be defined by a Street Screen. The street screen shall be a minimum of three feet high and not exceed four feet in height (see figure below).

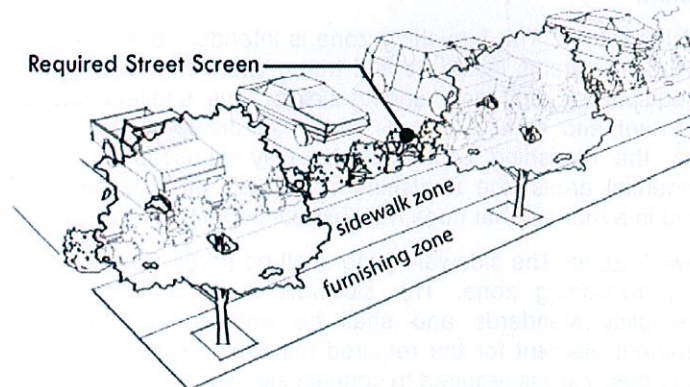


Illustration showing required Street Screen along all frontages without a Building within the BTZ

- ii) Along all streets (except alleys) service areas shall be screened in such a manner that the service area shall not be visible to a person standing on the property line on the far side of the adjoining street (see figure below).
- iii) All roof mounted mechanical equipment (except solar panels) shall be screened from view of a person standing on the property line on the far side of the adjoining street (see figure below).

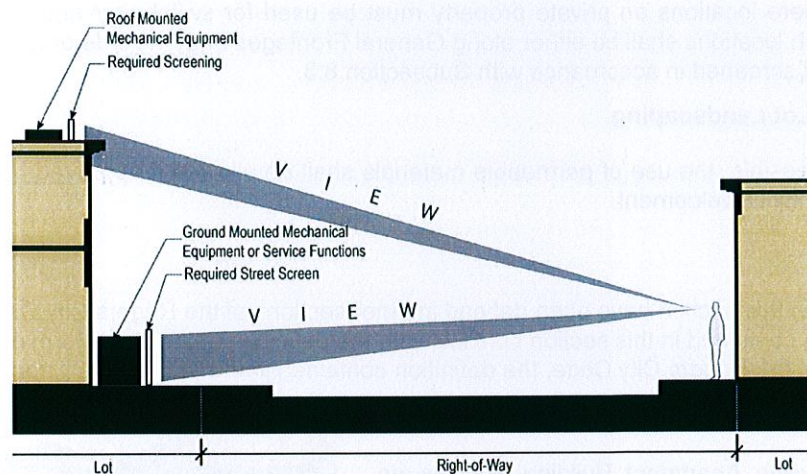


Illustration showing required screening of roof and ground mounted equipment

- iv) Required Street Screens and equipment screening shall be built from one of the following:
1. The same building material as the principal structure on the lot; or
 2. A vegetative screen composed of shrubs planted to be opaque at maturity; or
 3. A combination of two below:
 - a. The required Street Screen shall be located at the minimum setback line along the corresponding frontage.
 - b. Street Screens cannot block any required sight triangles along a cross street or driveway.
 - c. Street Screens may include breaks to provide pedestrian access from any surface parking or service area to the public sidewalk.
 4. The screening material used for roof mounted equipment shall be the same as the primary exterior building material used.

8.3 Street Furniture

- a) Street Furniture shall be placed within the Furnishing Zone or within the front setback area only. Benches and bike racks shall be placed in alignment with light poles and street trees.
- b) All street furniture shall be located within the Furnishing Zone in such a manner that the Sidewalk Zone not be blocked or obstructed.
- c) Materials selected for street furniture shall be of durable quality and require minimal maintenance.

8.4 Utilities

- a) All new utility lines within private property shall be underground where feasible. The Director of Community Development will have the authority to approve above ground utilities if there are restrictions to underground installation.
- b) Existing overhead utility lines, when maintaining overhead location, shall be relocated to alleys or the middle of blocks where feasible.

- c) Where locations on private property must be used for switchgear and transformer pads, such locations shall be either along General Frontages or at the side or rear of the property and screened in accordance with Subsection 8.3.

8.5 Parking Lot Landscaping

Where feasible, the use of permeable materials shall be allowed if approved by the Director of Community Development.

9.0 Definitions

Many terms used in this section have been defined in other sections of the Rogers City Code. If the definition of a term contained in this section conflicts with the definition of the same term contained in a separate section of the Rogers City Code, the definition contained in this section shall apply.

Accessory Unit

A Secondary/ Garage Apartment Building Type is an accessory structure typically located at the rear of a lot. This structure typically provides either a small accessory residential unit or home office space that may be above a garage or at ground level. This Building Type is important for providing affordable housing opportunities within Uptown Rogers.



Image of an accessory unit over a garage.

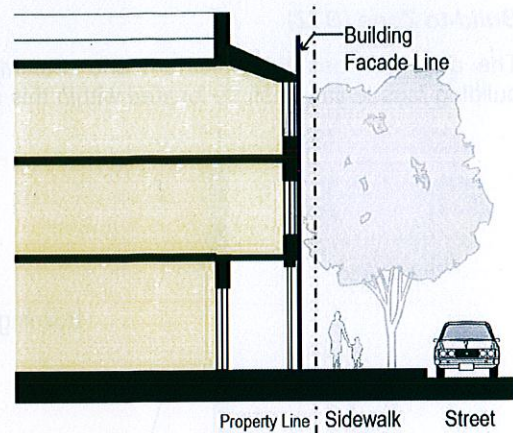


Allowable Adjustment

Means a requested adjustment allowed in the standards per the Allowable Adjustments provision of Subsection 2.3 (Administration). The Director of Community Development shall have the authority to administratively approve a request for an allowable adjustment.

Arcade or Colonnade

A portion of the main façade of the building that is at or near the property line and a colonnade supports the upper floors of the building. Arcades are intended for buildings with ground floor commercial or retail uses and may be one or two stories. The ground floor area within the arcade may be conditioned or non-conditioned space.



Images of arcade frontages

Build-to Zone (BTZ)

The area between the minimum and maximum front setbacks from the property line. The principal building façade line shall be located within this area.

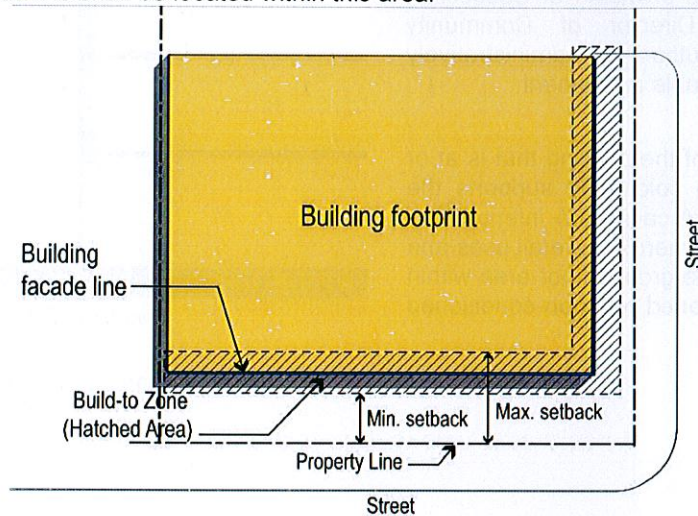


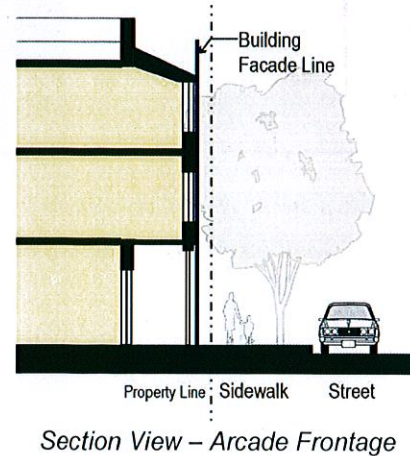
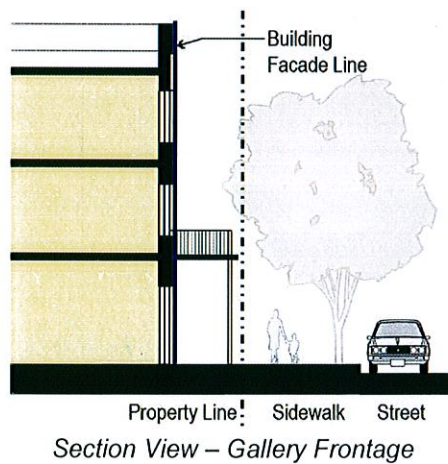
Illustration indicating the location of the build-to zone relative to the minimum and maximum setbacks and the building façade line.

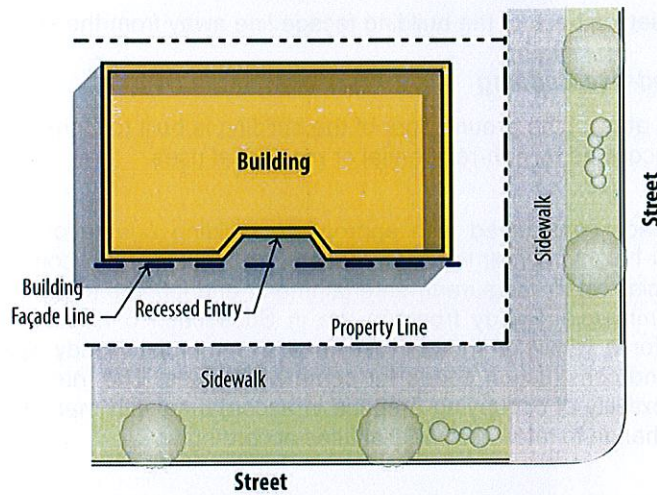
Building Form and Site Development Standards

Standards established for each URDC Zone including but not limited to building placement, building height, parking, service access, and other functional design standards.

Building Façade Line

The location of the vertical plane of a building along a street frontage.





Building Façade Line Illustrations

Building Frontage

The percentage of a building's façade line that is required to be located within the Build-to Zone (BTZ) as a proportion of the lot's width along the fronting public street. Required driveways, stairs to access entrances, parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall count towards the required building frontage.

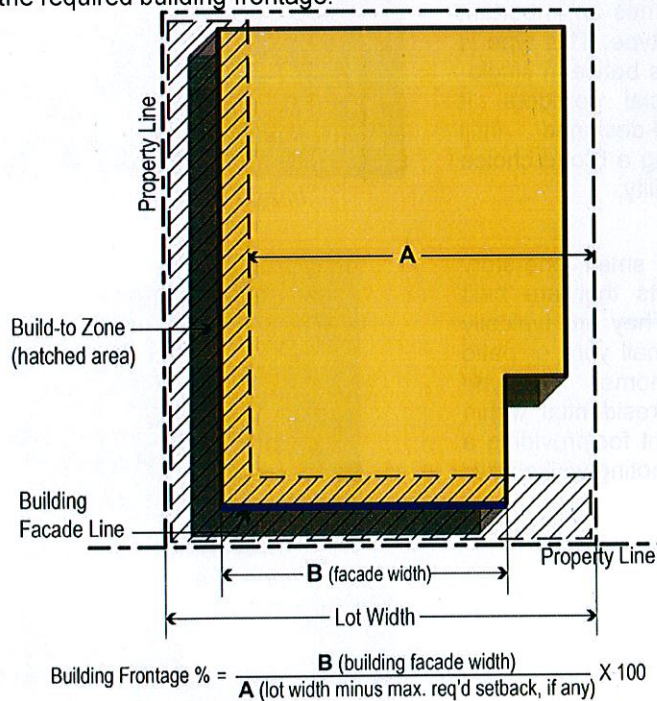


Image showing Building Frontage calculation

Building Step-Back

Building step-back is the setting back of the building façade line away from the street at a specific floor or height.

Commercial Use or Mixed-Use Building

Means a building in which at least the ground floor of the building is built to Commercial Ready standards and any of the floors are occupied by non-residential or residential uses.

Commercial Ready

Means a ground floor space constructed with appropriate building orientation, entrance and window treatment and floor-to-floor height in order to accommodate ground floor retail/commercial uses (including but not limited to commercial, retail, restaurant, entertainment, and lobbies for civic, hotel, or multi-family uses). Standards for Commercial Ready frontage are in Subsection 5.4. Prior to the issuance of a certificate of occupancy for a retail/commercial use in a Commercial Ready space, the space must comply with all building and construction codes for commercial uses. The intent of Commercial Ready space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail/commercial uses accordingly.

Complete Street

Means a street that not only accommodates various modes of transportation such as automobiles, transit, bikes, and pedestrians, but also establishes a design context that is conducive for redevelopment along the street.

Cottage Court

The Cottage Court building type consists of a series of small, detached structures, providing multiple units arranged to define a shared court that is typically perpendicular to the street. The shared court takes the place of a private rear yard and becomes an important community-enhancing element of this type. This type is appropriately scaled to fit as transitions between single-family neighborhoods and commercial corridors. It enables appropriately-scaled, well-designed infill residential and is important for providing a broad choice of housing types and promoting walkability.

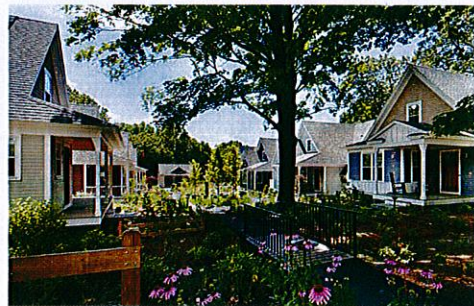


Image of a cottage court.

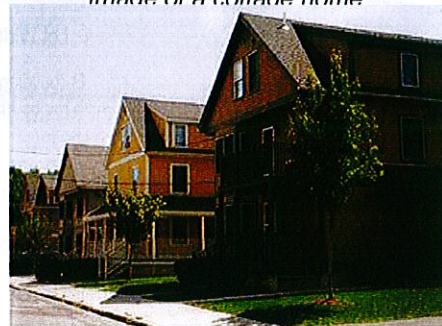
Cottage

The Cottage building type consists of small, one-story single-family detached residential units that are built close to the street and each other. They are typically sideyard/zero lot line homes with a small yard or patio space. They may also be called patio homes. This type of building enables appropriate infill residential within existing neighborhoods and is important for providing a broad choice of housing types and promoting walkability.



Image of a cottage home

Duplex



The Duplex is a small- to medium-sized structure that consists of two side-by-side or stacked dwelling units, both facing the street, and within a single building massing. This type has the appearance of a medium to large single-family home and is appropriately scaled to fit within primarily single-family neighborhoods or medium-density neighborhoods. It enables appropriately-scaled, well-designed residential infill and is important for providing a broad choice of housing types and promoting walkability.

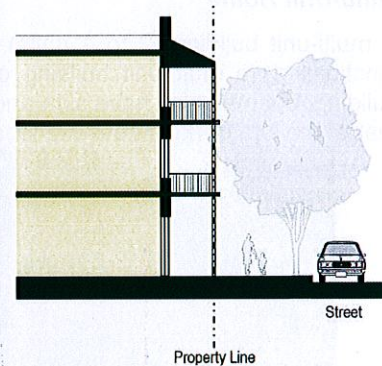
Image of a duplex home type.

Façade Area

Means the surface area of a building's elevation (including all floors) not counting minor indentations fronting a particular street. Ground floor façade area is the surface area of a building's ground floor elevation not counting minor indentations fronting a particular street. Upper floor façade area is the surface area of a building's upper floor elevations not counting minor indentations fronting a particular street.

Gallery

Is a roofed promenade or canopy, especially one extending along the wall of a building and supported by arches or columns on the outer side. The gallery space is an unenclosed (non-conditioned) space and may be two (2) or more stories tall.



J-Swing Garage

Images of Galleries

A home with a driveway that loads from the primary street and swings into the side of the home to enter the garage. Two of these homes side-by-side, should share a driveway or a curb-cut to driveways and have garages facing each other.



Images of a home with a J-Swing Garage from the front and side of home.

Live-Work Unit

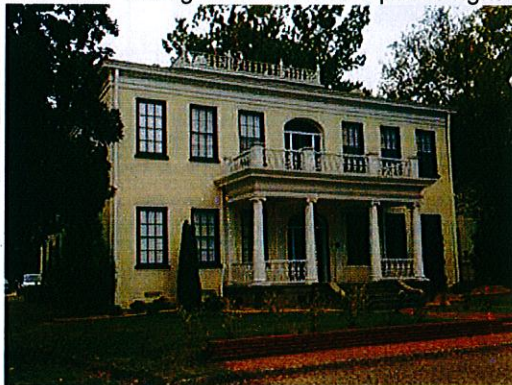
Means a dwelling unit that is also used for work purposes, provided that the 'work' component is restricted to the uses of professional office, artist's workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The 'live' component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by the Rogers City Code in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site.



Image of a live-work building type.

Multi-Unit Home

A multi-unit building (2 to 4 units) that is designed to appear as a large home from the exterior, but functions as a multi-unit building on the interior. Multi-Unit Homes have one main front door for the building, but may also have side and rear entries. Parking is accessed from an alley or a driveway to the rear of the lot. Parking does not face a public right-of-way.



Images of Multi-Unit Homes

Numerical Standard

Means any standard that has a numerical limit (minimums and maximums) or value as established within both the text and graphic standards of this Section.

Open Space

Publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, playgrounds, squares, etc. provided to meet the standards in Subsection 7.0 of this Section. Open space may be privately or publicly owned and/or maintained.

Patio Homes

Single-family detached or attached (duplex) homes of no more than two attached units, each located on a small lot that has at least some private yard space, generally in the back and/or side yards, but also possibly a small front yard. These types of homes may also be called "Villa" or "Zero Lot Line" homes if the homes are located on one of the side property lines.

Parking Setback Line

Means the distance that any surface parking lot is to be set back from either the principal building façade line or property line along any street frontage (depending on the specific standard in the URDC zone). Surface parking may be located anywhere behind the parking setback line on the property.

Perimeter Frontage

Means the measurement of a proportion of public street frontage of the total exterior perimeter of a park or open space area.

Primary Entrance

The public entrance located along the front of a building facing a street or sidewalk and provides access from the public sidewalk to the building. It is different from a secondary entrance which may be located at the side or rear of a building providing private controlled access into the building from a sidewalk, parking or service area.

Residential Use Building

A building that is built to accommodate only residential uses on all floors of the building, such as a detached single-family home, attached single-family home (i.e. townhome), two-family home (i.e. duplex), mansion home (3 – 4 units), multi-family building (5 or more units; under single ownership or under multiple owners within a condominium regime).

Service-Related Uses

Means all uses that support the principal use on the lot including parking access, garbage/trash collection, utility meters and equipment, loading/unloading areas, and similar uses.

Street Frontage Designation

As identified on the URDC Zoning Plan, existing and recommended streets in the URDC area are designated as Pedestrian-Priority, Pedestrian-Friendly, or General Frontage. Each frontage designation establishes a certain development context in order to improve walkability and pedestrian orientation within the URDC area.

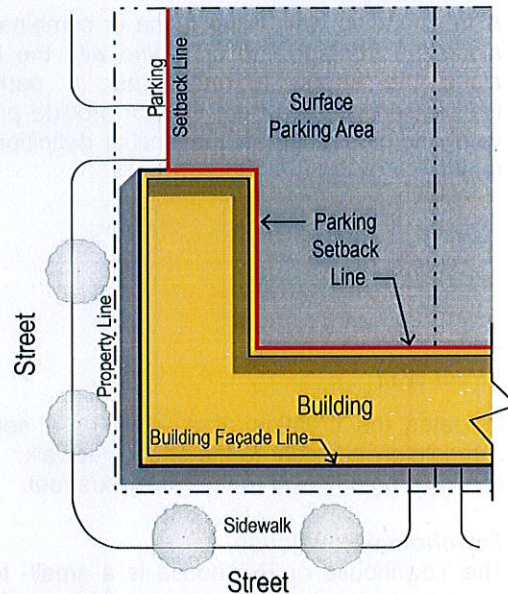


Illustration of a parking setback line

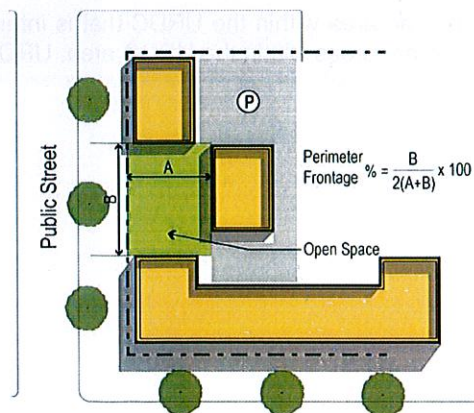


Illustration showing how Perimeter Frontage is calculated for Open Space along a Public Street

Street Screen

A freestanding wall, living fence or combination fence built along the frontage line or in line with the building façade along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.



Image of a combination masonry and living street screen

Street Wall

Indicates the creation of a "wall" or a sense of enclosure along the street with buildings placed immediately adjacent to the street/sidewalk. A street wall has a "void" if there is a surface parking lot or service area adjacent to the sidewalk/street.

Townhouse/Rowhouse

The Townhouse or Rowhouse is a small- to medium-sized typically attached structure that consists of 2–8 houses placed side-by-side. This type of residential building is typically located in a location that transitions from a primarily single-family neighborhood into a commercial corridor. This type of building enables appropriately-scaled, well-designed residential infill and is important for providing a broad choice of housing types and promoting walkability.



Image of townhomes.

URDC Zone

Means an area within the URDC that is intended to preserve and/or create an urban form that is distinct from other areas within the URDC area. URDC zones are identified on the URDC Zoning Plan.

ATTACHMENTS

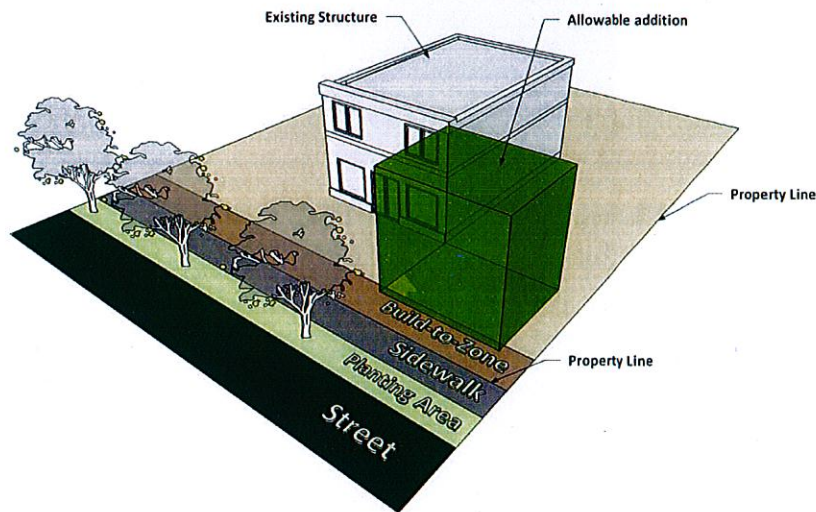
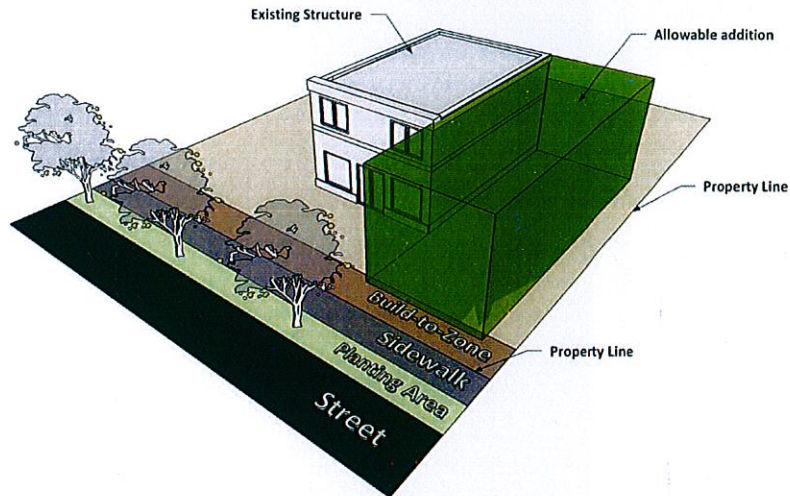
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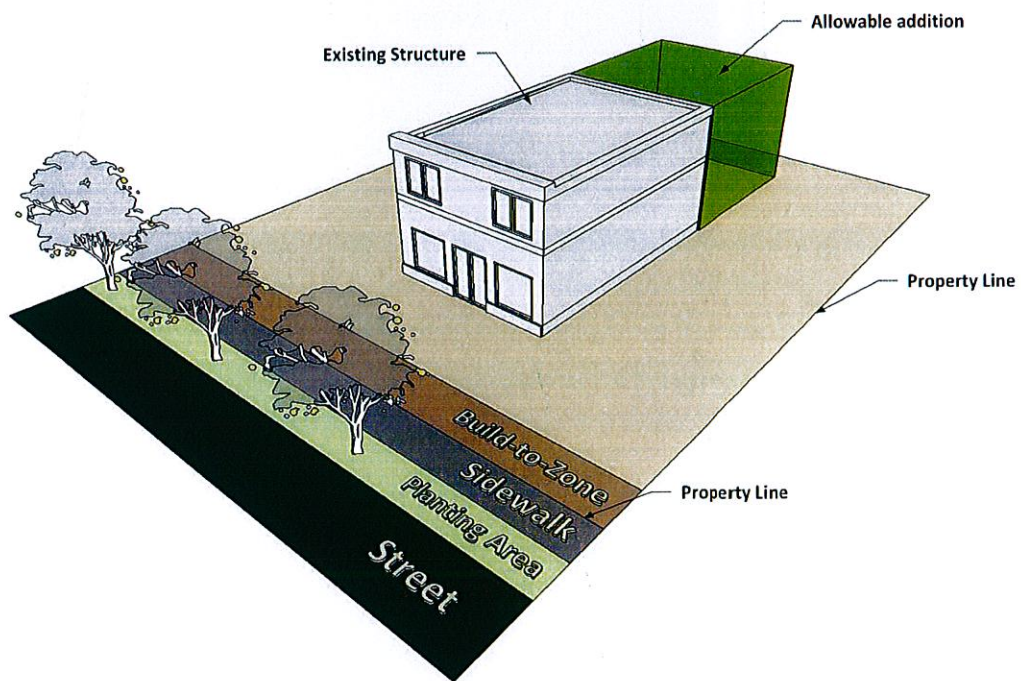
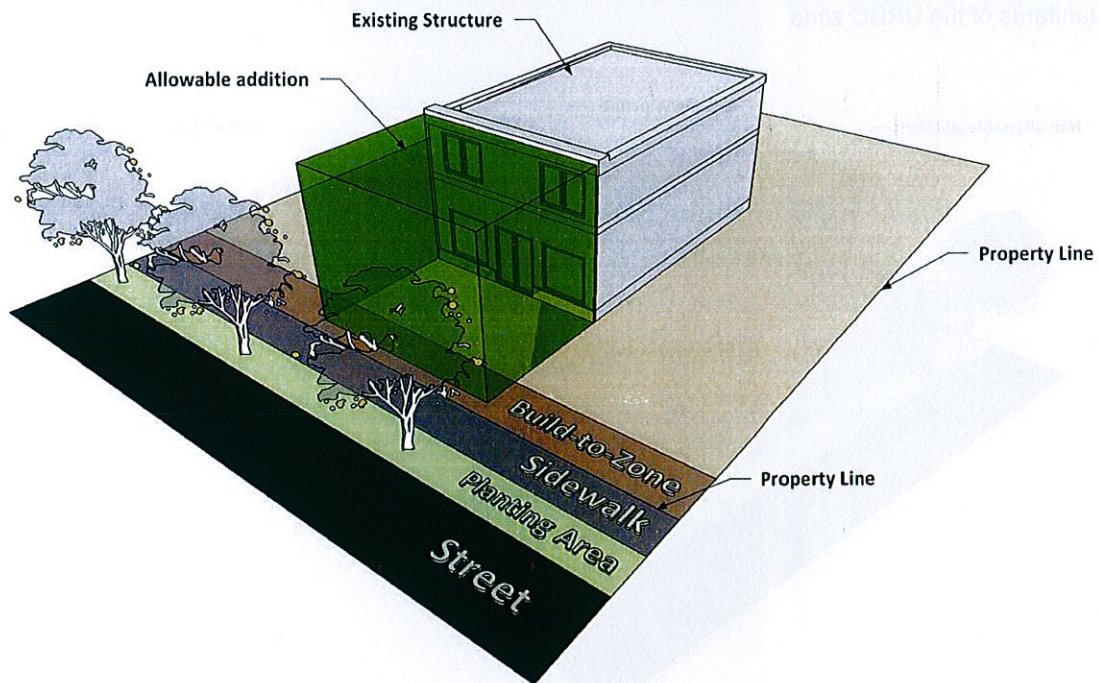
- 1: Illustrations of Changes to Non-Complying Structures
- 2: Open Space Palette

Attachment 1: Illustrations of Changes to Non-Complying Structures

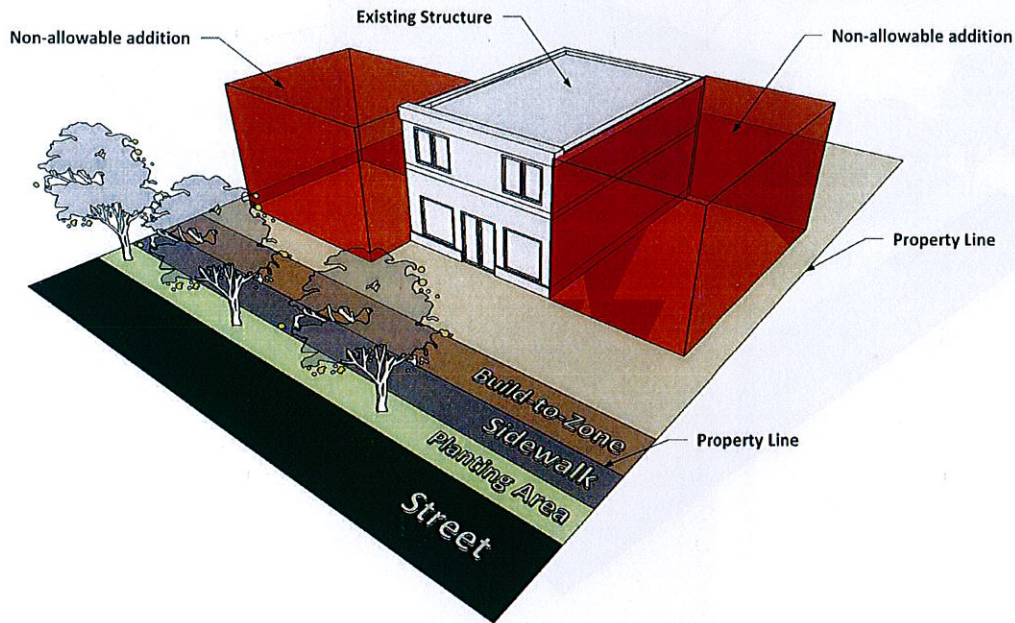
The following illustrations shall provide guidance to property owners on the allowed and prohibited modifications to existing non-complying structures and sites within the URDC area.

- a) Allowable Additions: The following illustrations show potential allowable additions to non-complying structures and sites. Additions shall meet the build-to-zone standards of the character zone they are located.





- b) Non-Allowable Additions: The following illustration shows potential non-allowable additions to non-complying structures and sites. This is due to the additions not complying with the build-to-zone standards of the URDC zone.



Attachment 2: Open Space Palette

The Open Space Palette and standards contained herein shall be used as guidelines to fulfill the required and recommended Public Open Space and Private Common Open Space requirements of Subsection 7 of this Section. The following Subsections provide a description of these Open Space types including the design context and criteria consistent with the vision for Uptown Rogers.

1. Public Open Space Standards

a) Pocket Park Standards



Pocket Parks are small scale public urban open spaces intended to provide recreational opportunities where (publicly accessible/park) space is limited. Typically, pocket parks may be placed in any URDC Zone. They are often located between buildings and developments; on single vacant lots; and on small irregular pieces of land. Low maintenance landscaping and facilities is recommended in order to support multiple pocket parks in a park system.

Development may include pavilions, picnic tables, small performance stage, seating areas, gathering areas, family play areas, gazebos, small game areas, small community gardens, dog parks, and interactive art. Shade and lighting is desired.

Typical Characteristics

General Character

Small urban open space responding to specific user groups and space available.

Range of character can be for intense use or aesthetic enjoyment. Low maintenance is essential.

Location and Size

0.25 – 1.99 acres

Within walking distance of either a few blocks or up to a ¼ mile of residences

Typical Uses

Varies per user group

b) **Green Standards**

A Green is a public urban open space available for civic purposes, commercial activity, unstructured recreation and other passive uses. Greens shall primarily be naturally landscaped with many shaded places to sit. Open lawn areas shall encourage civic gathering. Appropriate paths, civic elements, fountains or open shelters may be included and shall be formally placed within the Green.

A Green shall be adjacent to a public right of way and be spatially defined by buildings which shall front onto and activate this space.

Typical Characteristics

General Character

Open space

Spatially defined by street and building frontages and landscaping

Lawns, trees and shrubs naturally disposed

Open shelters and paths formally disposed

Location and Size

0.25 – 4 acres

Minimum width – 25'

Minimum pervious cover – 80%

Minimum perimeter frontage on public right of way – 50%

Typical Uses

Unstructured recreation

Casual seating

Commercial and civic uses

No organized sports

c) Square Standards



A square is a public urban open space available for civic purposes, commercial activity, unstructured recreation and other passive uses. The square should have an urban, formal character and be defined by the surrounding building frontages and adjacent tree-lined streets. All buildings adjacent to the square shall front onto the square. Adjacent streets shall be lined with appropriately scaled trees that help to define the square.

The landscape shall consist of lawns, trees, and shrubs planted in formal patterns and furnished with paths and benches. Shaded areas for seating should be provided. A civic element or small structure such as an open shelter, pergola, or fountain may be provided within the square.

Typical Characteristics

General Character

Formal open space

Spatially defined by buildings and tree-lined streets.

Open shelters, paths, lawns, and trees formally arranged

Walkways and plantings at all edges

Abundant seating opportunities

Location and Size

0.25 – 4 acres

Minimum width – 25'

Minimum pervious cover – 60%

Minimum perimeter frontage on public right of way – 60%

Located at important intersections

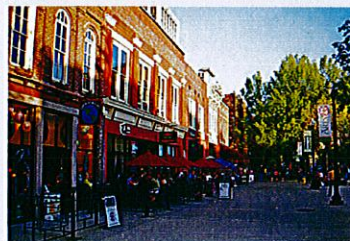
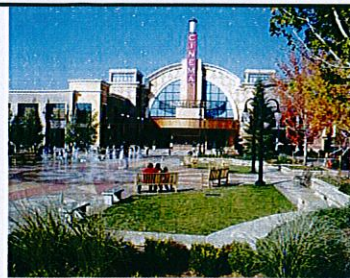
Typical Uses

Unstructured and passive recreation – no organized sports.

Community gathering

Occasional commercial and civic uses

d) Plaza Standards



A plaza is a public urban open space that offers abundant opportunities for civic gathering. Plazas add to the vibrancy of streets within the more urban zones and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces.

The landscape should have a balance of hardscape and planting. Various types of seating should be provided from planter seat walls, to steps, to benches, to tables, and chairs. Trees should be provided for shade. They should be formally arranged and of appropriate scale. Plazas typically should be located at the intersection of important streets. A minimum of one public street frontage shall be required for plazas.

Typical Characteristics

General Character

Formal open space

A balance of hardscape and planting

Trees important for shade

Spatially defined by building frontages

Location and Size

0.1 – 1 acre

Minimum width – 30'

Minimum pervious cover – 20%

Minimum perimeter frontage on public right of way – 25%

Located at important intersections, at vista termini, or at entrances to public/civic buildings

Typical Uses

Commercial and civic uses

Formal and casual seating

Tables and chairs for outdoor dining

Retail and food kiosks

c) **Square Standards**

A square is a public urban open space available for civic purposes, commercial activity, unstructured recreation and other passive uses. The square should have an urban, formal character and be defined by the surrounding building frontages and adjacent tree-lined streets. All buildings adjacent to the square shall front onto the square. Adjacent streets shall be lined with appropriately scaled trees that help to define the square.

The landscape shall consist of lawns, trees, and shrubs planted in formal patterns and furnished with paths and benches. Shaded areas for seating should be provided. A civic element or small structure such as an open shelter, pergola, or fountain may be provided within the square.

Typical Characteristics**General Character**

Formal open space

Spatially defined by buildings and tree-lined streets.

Open shelters, paths, lawns, and trees formally arranged

Walkways and plantings at all edges

Abundant seating opportunities

Location and Size

0.25 – 4 acres

Minimum width – 25'

Minimum pervious cover – 60%

Minimum perimeter frontage on public right of way – 60%

Located at important intersections

Typical Uses

Unstructured and passive recreation – no organized sports.

Community gathering

Occasional commercial and civic uses

d) Plaza Standards



A plaza is a public urban open space that offers abundant opportunities for civic gathering. Plazas add to the vibrancy of streets within the more urban zones and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces.

The landscape should have a balance of hardscape and planting. Various types of seating should be provided from planter seat walls, to steps, to benches, to tables, and chairs. Trees should be provided for shade. They should be formally arranged and of appropriate scale. Plazas typically should be located at the intersection of important streets. A minimum of one public street frontage shall be required for plazas.

Typical Characteristics

General Character

Formal open space

A balance of hardscape and planting

Trees important for shade

Spatially defined by building frontages

Location and Size

0.1 – 1 acre

Minimum width – 30'

Minimum pervious cover – 20%

Minimum perimeter frontage on public right of way – 25%

Located at important intersections, at vista termini, or at entrances to public/civic buildings

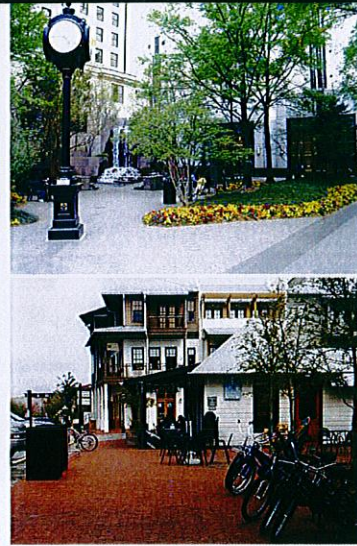
Typical Uses

Commercial and civic uses

Formal and casual seating

Tables and chairs for outdoor dining

Retail and food kiosks

e) **Pocket Plaza Standards**

A pocket plaza is a small scale public urban open space that serves as an impromptu gathering place for civic, social, and commercial purposes. The pocket plaza is designed as a well-defined area of refuge separate from the public sidewalk. It is frequently located in a building supplemental zone next to the streetscape.

These areas contain a lesser amount of pervious surface than other open space types. Outdoor dining with café tables and chairs, water features, public art and other shaded amenities are appropriate uses.

Typical Characteristics**General Character**

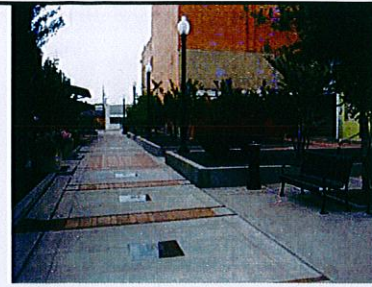
Formal open space for gathering
Defined seating areas
Refuge from the public sidewalk
Spatially defined by the building configuration

Location and Size

Min. 300 s.f.
Min. width – 15' / Max. width 20'
Minimum pervious cover – 10 %
Minimum perimeter frontage on public right of way – 25%
Located at important intersections, at vista termini, or at entrances to public/civic buildings

Typical Uses

Civic and commercial uses
Formal and casual seating

f) **Pedestrian Passage (Paseo) Standards**

Pedestrian passages or paseos are linear public urban open spaces that connect one street to another at through-block locations. Pedestrian passages create intimate linkages through buildings at designated locations. These wide pathways provide direct pedestrian access to residential or other commercial addresses and create unique spaces for frontages to engage and enter off of. Pedestrian passages allow for social and commercial activity to spill into the public realm.

Pedestrian passages should consist of a hardscape pathway with pervious pavers activated by frequent entries and exterior stairways. The edges may simply be landscaped with minimal planting and potted plants. Shade is required for the success of the paseo.

This Public Open Space type is most appropriate for the reinvention of the existing alleys within Uptown Rogers.

Typical Characteristics**General Character**

Hardscape pathway with pervious pavers

Defined by building frontages

Frequent side entries and frontages

Shade Required

Minimal planting and potted plants

Maintain the character of surrounding buildings

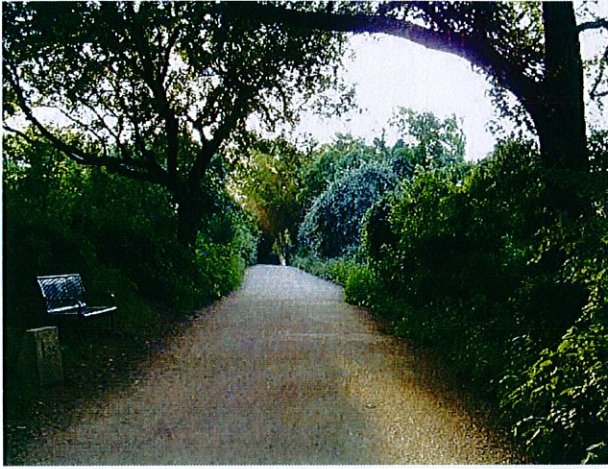
Standards

Min. Width 15 feet

Typical Uses

Pedestrian connection and access

Casual seating

g) **Multi-Use Trail Standards**

A multi-use trail is a linear public urban open space that accommodates two or more users on the same, undivided trail. Trail users could include pedestrians, bicyclists, skaters, etc. A trail frequently provides an important place for active recreation and creates a connection to regional paths and biking trails.

Trails within greenways or neighborhood parks shall be naturally disposed with low impact paving materials so there is minimal impact to the existing creek bed and landscape.

Pedestrian amenities add to recreational opportunities, particularly in an urban setting. These include drinking fountains, scenic view posts, fitness stations, and directional signs, and may be spread along the trail or grouped in a trailhead area.

Trails shall align with any current City of Rogers Trail Plans if identified as a section of that plan.

Typical Characteristics

General Character

Multi-use trail in Neighborhood Park:

Naturally disposed landscape

Low impact paving

Trees lining trail for shade

Appropriately lit for safety

Formally disposed pedestrian furniture, landscaping and lighting

Multi-use trail along roads:

Paved trail with frequent gathering spaces and regular landscaping.

Standards

Min. Width	10 feet
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Typical Uses

Active and passive recreation

Casual seating

h) **Family-friendly Play Area Standards**

Family-friendly play areas are areas within urban open spaces that are conducive to the recreational needs of families with children. Family-friendly play areas range in style from urban pocket parks within mixed use developments to playscapes within neighborhood parks.

These play areas should serve as quiet, safe places -- protected from the street and typically located where children do not have to cross major streets to access. An open shelter, play structures or interactive art and fountains may be included with landscaping between. Shaded areas and seating shall be provided for ease of supervision.

Playscape equipment and design must be reviewed and approved by the City prior to installation. The need for fencing depends on the surrounding environment.

A larger playground may be incorporated into a neighborhood park, whereas a more intimate family oriented design may be incorporated into a pocket park.

Typical Characteristics**General Character**

Focused toward family-friendly needs
Fencing depends on surroundings
Open shelter
Shade and seating provided
Play structure, interactive art or fountains

Standards

Min. Size 300 sq.ft.
Max. Size N/A
As described by open space type in which playground is located
Protected from traffic
No service or mechanical equipment

Typical Uses

Active and passive recreation
Unstructured recreation
Casual seating

2. Private Common Open Space Standards

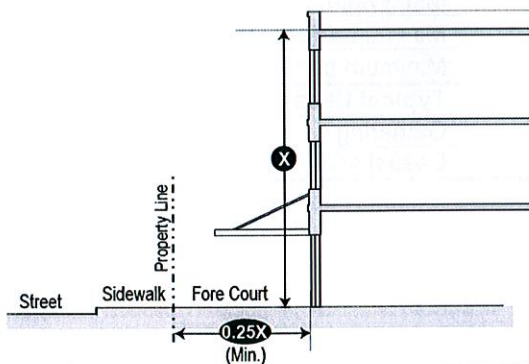
a) Forecourt Standards



Forecourt is a small scale private common open space surrounded on at least two sides by buildings. A forecourt is typically a building entry providing a transition space from the sidewalk to the building. The character serves as a visual announcement of the building to visitors with additional amenities such as signage, water features, seating, planting, etc.

Forecourts should be laid out proportionate to building height with a 1:4 (min.) ratio (see figure below). In order to offset the impact of taller buildings, the detail of the forecourt level should seek to bring down the relative scale of the space with shade elements, trees, etc.

The hardscape should primarily accommodate circulation. Seating and shade are important for visitors. Trees and plantings are critical to create a minimum of 30% pervious cover and offset the effect of the urban heat island.



Typical Characteristics

General Character

Small scale private common open space

Defined by buildings on at least 2 sides with connection to public sidewalk

Size of court should be proportionate to building height

Hardscape should accommodate entry circulation

Trees and plants are critical

Enhance the character of surrounding buildings

Standards

Min. Width 25'

Minimum Size Depth: Based on building height ratio; Width: min. of 50% of the building's frontage along that street

Minimum pervious cover – 30%

Typical Uses

Building Entry Circulation

Visual building announcement

b) Courtyard Standards



Courtyards are small scale private common open spaces surrounded on at least three sides by buildings with a pedestrian connection to a public sidewalk. Courtyards maintain the character and style of the surrounding buildings.

Courtyards should be laid out proportionate to building height between 1:1 and 2:1 ratio. In order to offset the impact of taller buildings, the detail of the courtyard level should seek to bring down the relative scale of the space with shade elements, trees, etc. Transition areas should be set up between the building face and the center of the court.

The hardscape should accommodate circulation, gathering, seating, and shade. Trees and plantings are critical to create a minimum of 30% pervious cover and offset the effect of the urban heat island.

Typical Characteristics

General Character

Small scale private common open space

Defined by buildings on at least 3 sides with connection to public sidewalk

Size of court should be proportionate to building height

Hardscape should accommodate circulation, gathering, and seating.

Trees and plants are critical

Maintain the character of surrounding buildings

Standards

Min. Width 25'

Minimum Area 650 s.f.

Minimum pervious cover – 30%

Typical Uses

Gathering

Casual seating

c) Roof Terrace Standards



A Roof Terrace is a private common open space serving as a gathering space for tenants and residents that might not be at grade.

Up to 50% of the required private common open space may be located on a roof if at least 30 % of the roof terrace is designed as a Vegetated or Green Roof. A Vegetated or Green roof is defined as an assembly or system over occupied space that supports an area of planted beds, built up on a waterproofed surface.

Private common open space on a roof must be screened from the view of the adjacent property. The hardscape should accommodate circulation, gathering, seating, and shade.

Typical Characteristics

General Character

Small scale private common open space on roof top

Screened from view of adjacent property

Vegetated portion critical

Hardscape should accommodate gathering, seating, shade

Provides common open space that might not be available at grade

Standards

Min. Area 50% of the roof top

Planted area – 30% min.

Typical Uses

Gathering for tenants and residents

Green Roof

EXHIBIT "B"

Sec. 14-604. - Lot and block standards.

- (a) *Residential lot size and shape.* The size and shape of the lots shall not be required to conform to any stipulated pattern, but insofar as practical, side lot lines should be at right angles to straight street lines or radial to curved street lines.
- (b) *Easements.* Where required for drainage and utilities, easements shall be at least 15 feet in width. If there is an adjoining easement, the total combined width of both easements shall be at least 15 feet. Easements of adequate width in accordance with engineering or open space standards shall be provided for open drainage channels or scenic streambeds, where required.
- (c) *Connectivity standards.* A proposed development shall provide multiple direct connections in its minor and collector on-site street system to and between local destinations, such as parks, schools, and shopping, without requiring the use of arterial streets.
 - (1) Each development shall incorporate and continue all collector or minor streets stubbed to the boundary of the development plan by previously approved but unbuilt development, or existing development. For any commercial, high density residential, or mixed use development, the interior minor and collector street system, including those along the development's perimeter, shall grid the development in a linear orientation that aligns with adjacent and nearby existing or potential city streets.
 - (2) To ensure future street connections to adjacent developable parcels, a proposed development shall provide local street (stub out) connections along each boundary that abuts potentially developable or re-developable land so that local cross streets exist spaced at intervals not to exceed 660 feet and not less than 200 feet along each boundary that abuts potentially developable or re-developable land.
 - (3) To ensure future street connections to adjacent streets, a proposed development shall provide minor street connections at intervals not to exceed 660 feet and not less than 200 feet along existing streets. New minor streets shall align with existing nearby streets to the extent practicable.
 - (4) A proposed development shall provide full-movement on-site or off-site intersections as follows:
 - (a) Full-movement intersections shall be required wherever collectors and/or arterials, or any combination of collector and arterial, intersect.
 - (b) The City Engineer may require that a full-movement controlled intersection be installed for a minor street due to the traffic expected to be generated by the development. The City Engineer may require a traffic study to inform a determination of this requirement.
 - (c) The City Engineer may require intersection controls to be installed by the developer, to include signalization or other design-based controls (e.g., roundabout), based on the required capacity of the intersection. All intersection controls shall be approved by the City Engineer. The City Engineer may require a traffic study to inform a determination of this requirement.
 - (d) The City Engineer may require any limited movement collector or local street intersections to include an access control median or other acceptable access control device.
 - (5) Where necessary for public convenience or safety, a developer shall improve and dedicate to the public a pedestrian and bicycle access way to connect to cul-de-sac streets, to pass through odd-shaped or oversized city blocks 660 feet or longer, to complete existing pedestrian and

bicycle routes, and to provide for networks of public paths creating access to schools, parks, shopping centers, transit stops, churches, or other destinations. Pedestrian and bicycle access shall be made in accordance with City sidewalk, sidepath, and trails standards as determined by the City Engineer based on context, i.e., sidewalks shall connect to sidewalks, sidepaths to sidepaths, trails to trails.

- (a) The developer shall provide all required elements to include recreational easements and/or right of way dedication.
 - (b) Pedestrian and bicycle access ways established under this requirement shall count toward setback requirements for structures placed on adjacent property, for example, if a 10-foot public right of way is established between two residential parcels, each parcel may count 5 feet of the right of way toward structural setback requirements.
 - (c) Pedestrian and bicycle access ways shall be constructed at the time of initial construction of a development.
- (6) The requirements of paragraphs 14-604 (c)(2) above may be waived if, in the written opinion of the City Engineer, they are infeasible due to unusual topographic features, existing development, a natural area or feature, in the case of large format retail on a single parcel, or other warranted reason.
- (7) Gated street entryways into residential developments are prohibited unless all internal streets are private, and the development was designed and approved under the PUD provisions of this chapter.

EXHIBIT "C"

Sec. 14-710. - C-3 neighborhood commercial district.

- (a) *Purpose and intent.* This district is intended for areas designated as Neighborhood Centers on the city's Comprehensive Growth Map. The ideal application of this district is the development of a compact, mixed-use, neighborhood-oriented environment that transitions into lower density residential near Neighborhood Center boundaries. This district allows uses that provide essential goods and services to surrounding neighborhoods in a way that promotes placemaking and pedestrian accessibility. It is also intended to encourage medium-density residential development such as townhomes, bungalow courts, and other multi-unit or attached single-family housing types. Because the permitted non-residential uses are intended to be integral to the functions of a neighborhood, emphasis is placed on design and neighborhood compatibility.

(b) *Table C3-1.*

Neighborhood Commercial Use Regulations	
<i>Residential Use Classifications</i>	
Group Residential	P
Home Occupation	P
Single-Family Residential	P
Multifamily Residential	P
Transitional Housing	C
<i>Public/Semipublic Use Classifications</i>	
Burial Services	C
Clubs and Lodges	C
Convalescent Facilities	C
Cultural Institutions	P
Child Care	P
Emergency Health Care	P
Government Offices	C
Park and Recreation Facilities	P
Public Safety Facilities	P
Religious Assembly	P
Residential Care, General	P
Resource Centers	P
Schools, Public or Private	P
Utilities, Major	C
Utilities, Minor	C
<i>Commercial Use Classifications</i>	

Animal Hospitals	C
Animals: Retail Sales	C
Artists' Studios	P
Business Support Service	P
Personal Services	P
Laundromat Self Service	P
Maintenance and Repair Services	C
Communications Facilities	C
Food and Beverage Sales	P
Convenience Store without Gas	P
Convenience Store with Gas	C
Financial Services	P
Business and Professional Office	P
Medical, Dental and Health Practitioner Office	P
Personal Improvement and Instructional Services	P
Restaurants, Fast Food	P
Restaurant Full Service	P
Retail Sales	P
Pharmacies and Medical Supplies	P
Vehicle Commercial Parking Facility	C
Bed and Breakfast Inns	P
<i>Industrial Use Classifications</i>	
Food Processing	C
Microbrewery or Microdistillery	C
Beer Manufacturing	C
<i>Agricultural and Extractive Use Classifications</i>	
Community Garden	P

(c) *Use limitations.*

- (1) Single-family residential use shall be permitted for attached housing types including but not limited to townhomes, duplexes, triplexes, and fourplexes.
- (2) Single-family residential use for detached housing types shall require a conditional use permit from the Planning Commission.
- (3) Uses with drive-thru service such as restaurants, banks, and pharmacies shall be planned in a way to minimize physical and visual impact on the pedestrian realm.

(d) *Bulk and intensity of use restrictions.*

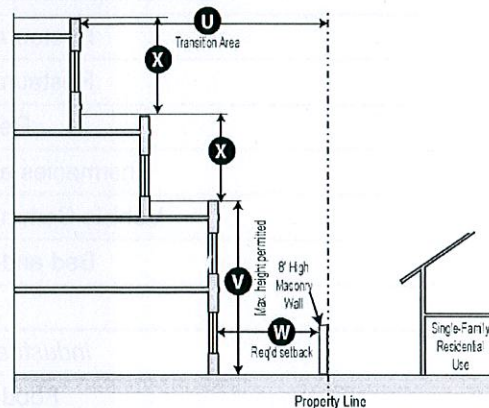
- (1) *Maximum structure height:*

- a. *Principal building*: 3 stories.
- b. *Accessory structures*: 16 feet.
- (2) *Minimum yard requirements*:
 - a. *Front yard*: 5 feet minimum, 30 feet maximum.
 - b. *Interior side yard*: 5 feet minimum, no maximum.
 - c. *Exterior side yard*: 5 feet minimum, no maximum.
 - d. *Rear yard*: 10 feet minimum, no maximum.
- (3) *Maximum residential density (without Density Concept Plan)*: 15 units per acre.
- (4) *Maximum residential density (with Density Concept Plan)*: 30 units per acre.
- (5) *Maximum building coverage (including accessory buildings)*: 80 percent.
- (6) *Residential Transition Standards*:

The following transition standards shall apply to all new building construction and upper story additions to existing buildings located adjacent to any existing single-family detached residential use. The 20-foot setback requirement shall not apply to side lot lines of new construction of Single-Family Residential, Attached Dwelling Units (Townhomes)/Patio Home, or Duplex adjacent to existing single-family detached residential uses.

i. Transition Area	30 feet min.	U
ii. Max. Building Height at Required Setback	35 feet max.	V
iii. Required Setback	20 feet min.	W
iv. Required Stepback	30-foot height increase allowed every 30 feet of setback beyond V (1:1 slope)	X

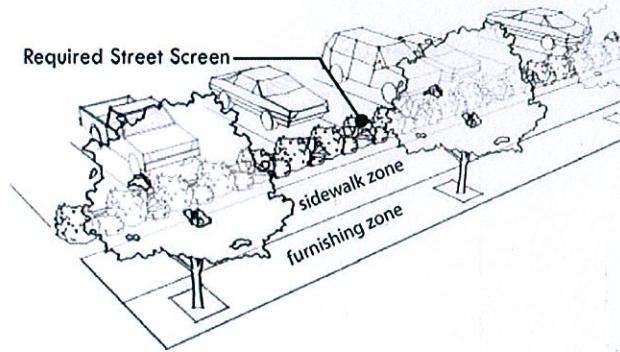
An 8-foot tall masonry or block wall shall be required when adjacent to any existing single-family detached residential use and shall be optional for all other agencies. A 6-foot wide landscape buffer with evergreen trees (balled-and-burlapped, 8-feet at time of planting) shall be required parallel to any single-family residential lot line. Wall and landscape buffer requirement shall not be required for new construction of Single-Family Residential, Attached Dwelling Units (Townhomes)/Patio Home, or Duplex adjacent to existing single-family detached residential uses.



(e) *Open space requirements.*

- (1) *Minimum open space*: Not less than 10 percent of the total lot area shall be devoted to open space including required yards and bufferyards unless modified by the City Planning Commission. Open space shall not include areas covered by buildings, structures, parking, loading and internal streets. Open space shall contain living ground cover, active plaza space, or other landscaping materials.

- (2) *Maximum impervious surface:* The combined area occupied by all main and accessory buildings or structures, parking, loading and other paved areas and any other surfaces which reduce and prevent absorption of stormwater shall not exceed 90 percent of the total area.
- (f) *Design requirements.*
- (1) All structures in the C-3 district shall be constructed using materials, surface textures and colors similar in nature to surrounding residential development. Consideration shall also be given to the scale, orientation and proportion of surrounding development.
 - (2) Refuse storage areas shall be screened from view.
 - (3) Mechanical and electrical equipment, including air conditioning units, shall be screened from view.
 - (4) Lighting shall be designed to reflect away from any adjacent residential area.
 - (5) *Parking.*
 - (A) There are no minimum parking requirements for non-residential uses.
 - (B) Residential uses shall provide 1.5 spaces per dwelling unit.
 - (C) Off-street surface parking shall be located to the rear or side of the primary building to the extent possible.
 - (D) Off-street surface parking located within a building setback area shall be defined by a street screen between 3 and 4 feet tall (see figure below).



- (g) *Illustrative Example of C-3 Development Character.*

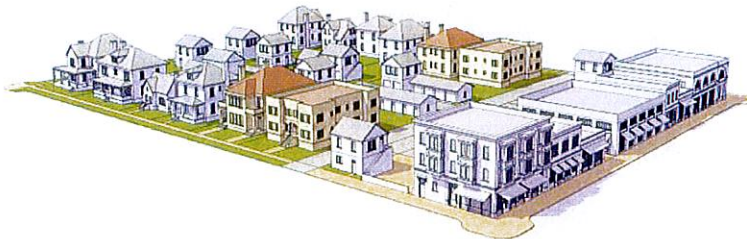


EXHIBIT "D"

- b) **Street Designations:** The streets within the DRDC area shall be classified by their street type in coordination with the Master Street Plan and the context of the surrounding development. Street cross sections shall address vehicular lane widths, number of lanes, pedestrian accommodation, street tree requirements, on-street parking, and parkway and median standards. These standards are laid out in Subsection 6 (Street Design Standards). The streets sections complement the Complete Streets Plan for the City of Rogers. Construction and composition requirements for streets are located in Chapter 14, Article II Design Criteria and Construction Specifications for Division, Development and Improvement of Land, Division 3 Streets and Roadways.

EXHIBIT "E"**2.2 Development Regulations**

- a) The development review process shall be required and administered subject to the requirements of Chapter 14, Article 3, Division 1, Section 14-207(b), except in cases of new construction which shall require Planning Commission approval through Section 14-207(a). In both cases, the requirements of Section 14-228(30) may generally be waived based on proportionality and the intent of this code.
- b) Table 2-1 shows in what instances the following subsections apply to development.

Table 2-1: Applicability Matrix												
DRDC Section	Subsec tion 3: Sched ule of Uses	Subsection 4: Building Form and Development Standards				Subsec tion 5: Buildi ng Desig n Stand ards	Subsec tion 6: Street Desig n Stand ards	Subsec tion 7: Open Space Stand ards	Subsection 8: Streetscape and Landscape Standards			
		Build to Zone s and Setba cks	Build ing Front age	Build ing Heig ht	Park ing and Servi ce Acce ss				Sidewa lk, Street Trees and Streets cape	Stre et Scr een	Street Lighti ng and Furni ture	Utili ties
Type of Development												
Commercial, Mixed-Use, Lodging and Multi-Family												
New Constru ction	•	•	•	•	•	•	•	•	•	•	•	•
Change of Use (withou t expansi on of conditio ned building area)	•				•					•		•
Expansi on of Existing Buildin		•	•	•	•	•		•	•	•	•	•

gs (see Attach ment 3)												
Existing Buildin g Remode l (withou t expansi on of conditio ned building area)	•											
Expansi on of Parking Area		•	•		•	•	•	•	•	•		
Single-Family Residential												
New Constru ction	•	•	•	•	•	•	•	•	•	•	•	•
Change of Use (withou t expansi on of conditio ned building area)	•				•							
Expansi on of Existing Buildin gs (see Attach ment 3)	•	•	•	•	•	•		•	•	•		

	whichever is greater.	<ol style="list-style-type: none"> 1. Need to accommodate existing buildings and structures on the lot that meet the overall intent and vision for redevelopment in the DRDC area; or 2. Need to accommodate other required modes of transportation (transit, bike, pedestrian), stormwater drainage, water quality, or low impact development (LID) elements on the site; or 3. Need to accommodate overhead or underground utilities and/or easements; or 4. Need to preserve existing trees on the property. This adjustment is not mandatory for tree preservation, but for the allowance for preservation; or 5. Need to provide public amenities along the sidewalk (outdoor dining/seating, larger sidewalk, or other similar public amenities).
Building Frontage	No more than a 15% reduction in the required building frontage along each subject lot with Pedestrian-Friendly or General Frontage designation.	<p>Any reduction in the required building frontage shall be to address one or more of the following to accommodate:</p> <ol style="list-style-type: none"> 1. Existing buildings and site elements; or 2. Other required transit, bike and pedestrian, stormwater drainage, or water quality elements on the site.
Building Heights	Increase in height of building for providing a public amenity.	Height may be increased by one additional story in COM and IA Zones if a public open space is provided on-site. The public open space must meet the standards of the Public Open Space Types in Attachment 4 of this Section. Public Open Space may be privately owned and maintained.
Sidewalk and Streetscape Standards	Sidewalks, Street Trees, Street Lighting, and other streetscape standards may be adjusted based on the development context, street cross section or larger public infrastructure plan.	Any changes to the streetscape standards shall be based on specific development context such as existing vegetation, natural features, drainage and fire safety.
Required Parking Spaces	Reduction in the number of required parking spaces.	<p>Reduction in the number of parking spaces shall be based on one or more of the following:</p> <ol style="list-style-type: none"> 1. A shared parking plan for parking within 1,000 feet of the subject property; or

		2. A parking study for the uses proposed on the site; or 3. A combination of the above.
Other		
Any other numerical standard in the Section	An adjustment up to 10% (increase or decrease).	An adjustment of a numerical standard is needed to accommodate existing conditions. The proposed development still meets the intent of the DRDC Zone.
Phased Developments	Deferment of building frontage standards.	Phased developments may defer building frontage requirements as long as they meet the Build to Zone and parking setback requirements.

d) Modifications:

- i) The Rogers Board of Adjustments (BOA) shall first review projects that request a modification beyond the standards in the DRDC authorized above in Table 2-2 (Allowable Adjustments Table).
- ii) The BOA shall review only the modification that exceeds the allowable adjustment within the DRDC and shall rule only in the case that this modification meets the following criteria:
 1. The goals, intent and vision of the adopted Downtown Initiative Plan;
 2. The extent to which the proposal fits the adjoining design context by providing appropriate building scale and use transitions;
 3. The extent to which the proposal provides public benefits such as usable public open space, livable streets, affordable housing, structures and/or shared parking, and linkages to transit;
 4. The extent to which the proposal does not hinder future opportunities for high intensity development; and
 5. Consideration of health and welfare of the general public.
- iii) If BOA denies the requested modification, applicant must perform a redesign of the plan in order to meet the standards or request other modifications through BOA.
- iv) If BOA approves the requested modification, application is passed to the Planning Commission (PC) for review of the remainder of the plan. During review of the plan, PC must review the plan for its merits with the consideration that the modification has been approved.
- v) Review Considerations for Planning Commission - In reviewing any plans after a modification request to standards in this Section, the Planning Commission shall use the following criteria:
 1. The goals, intent and vision of the adopted Downtown Initiative Plan;
 2. The extent to which the proposal fits the adjoining design context by providing appropriate building scale and use transitions;

EXHIBIT "F"

- a) **Intent:** The purpose of the Core Mixed Use Zone is to highlight the historic core of Downtown Rogers and to expand the core to include key locations for mixed-use development that are compatible with the downtown core. The intent is to mix commercial uses with some residential and public uses. Focusing on pedestrian facilities and unique experience destinations will be a key to establishing Downtown Rogers as a place for public interaction.

Development Standards within this DRDC zone specifically address the unique aspects of redevelopment in this area by retaining the existing development pattern while allowing higher density, pedestrian-oriented development to occur. In addition, the standards allow phasing of redevelopment and encourage the use of existing buildings and parking lots to the extent possible.

EXHIBIT "G"

- a) **Intent:** The purpose of the Commercial Mixed Use Zone is to be compatible with the Core Mixed Use through flexibility of uses, continuing to allow retail, education and commercial as primary uses, but also including residential as a core use to be located within Downtown Rogers. The focus is to transition this area as a more livable location, by upgrading infrastructure for development while also making this area friendlier to residential uses.

Development Standards within this DRDC zone specifically address the unique aspects of redevelopment in this area by retaining the existing development pattern while allowing higher density, pedestrian-oriented development to occur. In addition, the standards allow phasing of redevelopment and encourage the use of existing buildings and parking lots to the extent possible.

EXHIBIT "H"

- a) **Intent:** The purpose of the Industrial Arts Zone is to focus on the goal to establish local artisanal manufacturing, light industrial and businesses close to Downtown. These developments will take advantage of being accessible to rail, trails and Arkansas Street. The intent is to mix manufacturing, residential, and retail in a walkable yet flexible format.

Development Standards within this DRDC zone specifically address the unique aspects of redevelopment in this area by introducing a new development pattern while allowing higher quality, pedestrian-oriented development to occur. In addition, the standards allow phasing of redevelopment and emphasized connectivity to Downtown Rogers.

EXHIBIT "I"

- a) **Intent:** The purpose of the Neighborhood Transition Zone is to support appropriate transition between existing residential neighborhoods and open space and the more active commercial and urban residential areas. The intent is to support the character of the neighborhoods around downtown.

Development Standards within this DRDC zone specifically address the unique aspects of redevelopment in this area by retaining the existing development pattern while allowing higher density, pedestrian-oriented development to occur. In addition, the standards allow phasing of redevelopment and encourage the use of existing buildings and parking lots to the extent possible.

EXHIBIT "J"**5.1 Purpose and Intent**

The Building Design Standards for the DRDC establish a coherent urban character to encourage an enduring and attractive redevelopment area. Site and/or building plans shall be reviewed by the Director of Community Development or his or her designee for compliance with the standards in this Subsection.

The key design principles establish essential goals for the redevelopment within the DRDC area to be consistent with the vision for Downtown Rogers to become a vibrant, walkable city center that serves a range of commercial, civic, educational and residential uses that benefit the neighborhood and the region. Buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scale spaces. The key design principles are:

- a) New and redeveloped buildings and sites shall utilize building and site elements and details to achieve a pedestrian-oriented public realm with appropriate glazing, shading and shelter;
- b) Design compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity;
- c) Strengthen and celebrate the history of Downtown Rogers;
- d) Building façades shall include appropriate architectural details and ornament to create variety and interest;
- e) Open space(s) shall be incorporated to provide usable public areas integral to the urban environment; and
- f) Increase the quality, variety, adaptability, and sustainability in Rogers' building stock.

